



August 10, 2021

**City of Boulder City  
RFP 2021-03 Tract 350  
Addendum No. 1**

The deadline for questions for this proposal was 12:00 p.m., Monday August 9, 2021. The following are the questions that we received via email, at the Site Visit. In NGEM, and answers to those questions. A copy of this addendum must be signed and returned with your proposal.

**Question 1.** Are the alternate zoning and density options limited to the three zoning conditions (R1-15, R1-10 and R1-7) that are specified under section 5 of the RFP? *Answer: No, the respondent may propose any zoning classification that they choose. The respondent may also propose new zoning classifications that do not exist in the Boulder City Code. If a new class is proposed, the respondent should also provide sample regulatory text to accompany the unique new class. The current zoning conditions (R1-15, -10, and -7) were provided by way of information as to existing conditions.*

**Question 2.** What is the yearly growth restriction and how does that trickle down to builders? *Answer: The City's growth control ordinance limits the maximum number of building permits issued for new dwelling construction to 120 per year. That limit further restricts the maximum number of building permits that can be issued per development to 30 per year. Same restriction applies to multiple unit dwelling types (i.e., duplex, triplex, apartment, condo, etc). The growth control ordinance can be found at: [https://library.municode.com/nv/boulder\\_city/codes/code\\_of\\_ordinances?nodeld=COOR\\_TIT11ZOSU\\_CH41COGRMAPL](https://library.municode.com/nv/boulder_city/codes/code_of_ordinances?nodeld=COOR_TIT11ZOSU_CH41COGRMAPL).*

**Question 3.** What are the yearly permit restrictions, if any? Are those restrictions per builder, or per product line? *Answer: Each development is entitled to thirty growth control allotments per year. They are restricted to the development and not to the builder or product line.*

**Question 4.** Are the future year permit reservations considered place holders to secure the maximum allotments per year, or are they additional allotments? *Answer: The future year allotments count against that construction years' allotment total. For example, if you received an allotment reservation of 30 units for the construction year that begins on July 1, 2023, that would reduce the total number of available allotments that could be secured by others for that construction year by thirty, leaving 90 allotments available.*

**Question 5.** Should a formal Letter of Intent be included in the proposal package? *Answer: A letter of Intent is not required. The submittal of a response to the RFP makes the respondents intent clear.*

**Question 6.** Does the City have any restrictions and/or reservations regarding community sales pricing, RV parking options, or anything in particular that could affect the City's growth control plan? *Answer: No, the City does not have any restrictions regarding community sales pricing. RV Parking Options would have to comply with the underlying zoning requirements (i.e., building setbacks, height, etc). There are no other restrictions that could affect the City's growth control plan.*

**Question 7.** How long does it take to obtain the necessary entitlements (permit and engineering approvals) for the construction of the subdivision? *Answer: Difficult question to answer without seeing the initial submittal of plans and engineering. Historically it has depended on the amount of revisions that are required before the plan is approved. Could be as short as 90 days or as long as a year. Quality, accurate and code compliant submittals are reviewed and approved more rapidly than Vague, incomplete, inaccurate and non-code compliant submittals.*

**Question 8.** Are there plans available for inspection for the design and engineering for the stormwater improvements for Bristlecone? *Answer: Yes. They are provided with this update. Note: The stormwater improvements are part of a larger improvement plan set for Bristlecone and Clubhouse Drive. The roadway design plans may be used as a reference for final design, but are not to be considered the only possible design of the street improvements (i.e., the design shows street medians – medians are an option but not a requirement).*

**Question 9.** How big (acres) of a park is the City requesting for the site? *Answer: The size of the park(s) are at the discretion of the respondent, including their design, layout, amenities offered, etc. By way of example only, the current project under development (Boulder Hills Estates), is provided three small parks by using lands that are otherwise too small for individual lots or otherwise created by unique road layouts, with each park having different amenities and landscape materials.*

**Question 10.** Are there specific amenities desired for the City park(s)? *Answer: The City has not identified specific required amenities to be included within the park(s). The design, layout, and provided amenities are at the discretion of the respondent. The intent of the parks is to provide public spaces for this development and not for a larger population.*

**Question 11.** Could the City make available the soils study and a Phase I and Phase II environmental report? *Answer: The City has not had a soils study prepared, nor a Phase I or Phase environmental study conducted for this parcel.*

**Question 12.** Would it be possible to get copies of the sample “what if” layouts the City has prepared for in-house use? *Answer: The “what if” layout scenarios are not engineered drawings and were prepared for internal use to identify potential issues that could arise with the development of the parcel. For example, the “what if” scenarios assisted city staff in determining that there were challenges for public street placements if a single zoning class was applied to the entire parcel. As such, the drawings are internal draft materials. Respondents may make an appointment to visit the City Offices to view the draft documents if they so desire. They will need to work with the Purchasing Manager, Paul Sikora, 702-293-9246 to view them.*

**Question 13.** Can the city make available all engineering studies prepared for the site (i.e., drainage, dry utility analysis, water network, sewer)? *Answer: The City has not conducted any studies of Tract 350 and is not in possession of any reports.*

**Question 14.** Can we get a copy of the sign-in roster from the Pre-Proposal Meeting? *Answer: Yes, it is attached to this Addendum.*

**Question 15:** Will CAD linework or a survey boundary be provided for the parcel in question? *Answer: The City, while the owner of the parcel, did not prepare the survey or parcel map for Tract 350. The City used the services of Radig Engineering, who retains the original CAD files.*

**Question 16:** Will the City provide a copy of their (land sales) contract verbiage prior to the RFP closing date? *Answer: The City uses a standard form land sales agreement for property sales, with each one being modified to the unique properties. It is anticipated that the successful respondent(s) will negotiate a sales contract, including any phased take downs, with the City.*

**Question 17:** RFP Item #11 states, “the names of the responding companies will be available for review. Respondents will only be able to view their own proposal document once unsealed.” If this is a public bid, why would all proposals not be considered public information at the time of bid opening? *Answer: You are correct, all bid documents become a public record upon bid opening. However, as you noted, there are limitations with the Nevada Government Electronic Marketplace for which the City has no control. All RFP documents will be available for inspection at City Hall in the Finance Department following the bid opening.*

**Question 18:** Per RFP Item #19, Termination for Convenience, in the event the City chooses to cancel the Contract, can the respondent receive compensation for employee time spent working toward the Contract? *Answer: No*

**Question 19:** Per RFP Item #21, each Respondent is to list any exceptions to specifications and attach it to its Proposal. Are the “specifications” you are referring to the Boulder City Code of Ordinances, specifically Title 11, “Zoning and Subdivisions” and are the “exceptions” you are referring to waivers that will be requested? *Answer: The specifications include all regulatory laws and requirements for which the City has control over the application of such requirement. In addition to Title 11, Zoning and Subdivisions, the specifications also include the adopted street standards as published*

by the Regional Transportation Commission of Southern Nevada, and the Uniform Building Codes (including the Southern Nevada Amendments).

**Question 20:** Does the verbiage in RFP Item #24 conflict with Item #11 in that the City's records are Public Records. Are proposals considered "Public Records"?

*Answer: The Proposals are a public record and will be made available for public inspection at City Offices. Item #11 is referring to the ability to view items on the Nevada Government Electronic Marketplace and the restrictions that system places on submitted items. The City does not have the ability to make documents viewable on that system once a bid is opened. However, the City will make them available as soon as practicable after the RFP opening at the City offices.*

**Question 21:** Can (the) City council choose to enter into a Purchase and Sale Agreement with multiple bidders? *Answer: Yes, the RFP is structured as such that the City Council could choose to award the RFP to multiple respondents, depending upon their proposals. For example, it is possible one respondent may only want a portion of Tract 350, and a separate respondent may express interest in only a different part of the Tract.*

**Question 22:** Can (the) City Council choose to enter into a Purchase and Sale Agreement with one bidder using aspects from another developer's proposal? *Answer: The terms and conditions of the sales contract result from negotiations between the City and the chosen respondent(s). As with any negotiated contract, the components may differ from the original proposal if all parties agree to the resultant terms.*

**Question 23:** Can the gross acreage of the parcel(s) including the adjacent ½ streets for sale be used to calculate the zoning density? *Answer: No.*

**Question 24:** In the RFP Scope of Work Section 4.1.2.1, what fees will the Respondent pay to establish the SID, and how can the Respondent calculate a rate IF an SID is required to be established? *Answer: The City is unable to answer this question at this time, and is researching the matter further.*

**Question 25:** In the RFP Scope of Work Section 5, the Respondent may propose alternate zoning and density, but Section 9.3 states that the City "will not approve: variances to the required subdivision standards. If there is no currently adopted zoning classification and standard street profile, how is the Respondent to propose new zoning and street profiles if the City will not approve these variances? *Answer: The purpose of having the respondent propose new zoning classification regulatory language and/or street profiles is to allow the City to consider the alternative and subsequently adopt the draft language as a new standard – thus not requiring a variance from existing standards, as the newly adopted standard(s) would permit the proposed deviation as an operation of law. For example, the city does not have a zoning classification that would allow 6,000 square foot lots. Without a proposed zoning text to go with the respondents submittal, the City would then have to be asked to issue variances from our standard 7,000 square foot lot requirement. However, if the respondent provided a proposed new zoning classification (for this example, an R1-6) that allowed for 6,000 square foot*

lots that specified building setbacks, etc and the City adopted that new zoning class, then the development would not require variances.

**Question 26:** In Scope of Work Section III, Selection Process, who will make up the Selection Committee? *Answer: The Selection Committee will be members of the Community Development Department, Public Works Department, Public Utilities Department, and Finance Department, generally 5-7 members total. The City Manager may also participate at his discretion.*

**Question 27:** In Scope of Work Section IV, Evaluation Factors, what is the Fee Structure (50 points)? *Answer: The Fee Structure is the proposed method of compensation to the City for the purchase of the land, including the phased take down structure and any additional compensation for a delayed take down, etc.*



\_\_\_\_\_  
Paul Sikora  
Purchasing Manager

By signing below, I indicate I have received Addendum No. 1 for RFP 2021-03 Tract 350 and I acknowledge all requirements of this addendum and will submit this signed page with my quote.

\_\_\_\_\_  
LEGAL NAME OF FIRM

\_\_\_\_\_  
AUTHORIZED SIGNATURE NAME (TYPE OR PRINT )

\_\_\_\_\_  
AUTHORIZED SIGNATURE

\_\_\_\_\_  
DATE

\_\_\_\_\_  
TITLE

\_\_\_\_\_  
TELEPHONE NUMBER

\_\_\_\_\_  
ADDRESS OF FIRM, CITY, STATE, ZIP CODE

E-MAIL ADDRESS: \_\_\_\_\_

RFP 2021-03 Tract 350 Land Sale  
 Department FN  
 Pre- Proposal Meeting  
 Date: Jul 29, 2021  
 Time: 1230 hrs  
 Location: Boulder Creek Golf Course

ATTENDANCE LOG

NAME:	Isaac Summers
COMPANY:	Story Book Homes
TELEPHONE:	(702) 824-6014
E-MAIL ADDRESS:	isummers@sbhlv.com

NAME:	
COMPANY:	
TELEPHONE:	
E-MAIL ADDRESS:	

NAME:	David Diffley
COMPANY:	Lewis Management Corp
TELEPHONE:	702-262-7307
E-MAIL ADDRESS:	david.diffley@lewisinc.com

NAME:	
COMPANY:	
TELEPHONE:	
E-MAIL ADDRESS:	

NAME:	Robert Lewis
COMPANY:	see above
TELEPHONE:	
E-MAIL ADDRESS:	

NAME:	
COMPANY:	
TELEPHONE:	
E-MAIL ADDRESS:	

NAME:	Jennifer Lewis
COMPANY:	see above
TELEPHONE:	
E-MAIL ADDRESS:	

NAME:	
COMPANY:	
TELEPHONE:	
E-MAIL ADDRESS:	

NAME:	Louis DACE
COMPANY:	DACE IT LLC
TELEPHONE:	702 518-6335
E-MAIL ADDRESS:	L.DACE@DACE-IT.COM

NAME:	
COMPANY:	
TELEPHONE:	
E-MAIL ADDRESS:	

NAME:	JAMES VOOPER
COMPANY:	SBH
TELEPHONE:	702 460-3436
E-MAIL ADDRESS:	jvooper@sbhlv.com

NAME:	
COMPANY:	
TELEPHONE:	
E-MAIL ADDRESS:	

NAME:	JOSEPH PORRELLO
COMPANY:	KIMLEY-HORN
TELEPHONE:	<del>702-575-9</del> 702-602-7536
E-MAIL ADDRESS:	joey.porrello@kimley-horn.com

NAME:	
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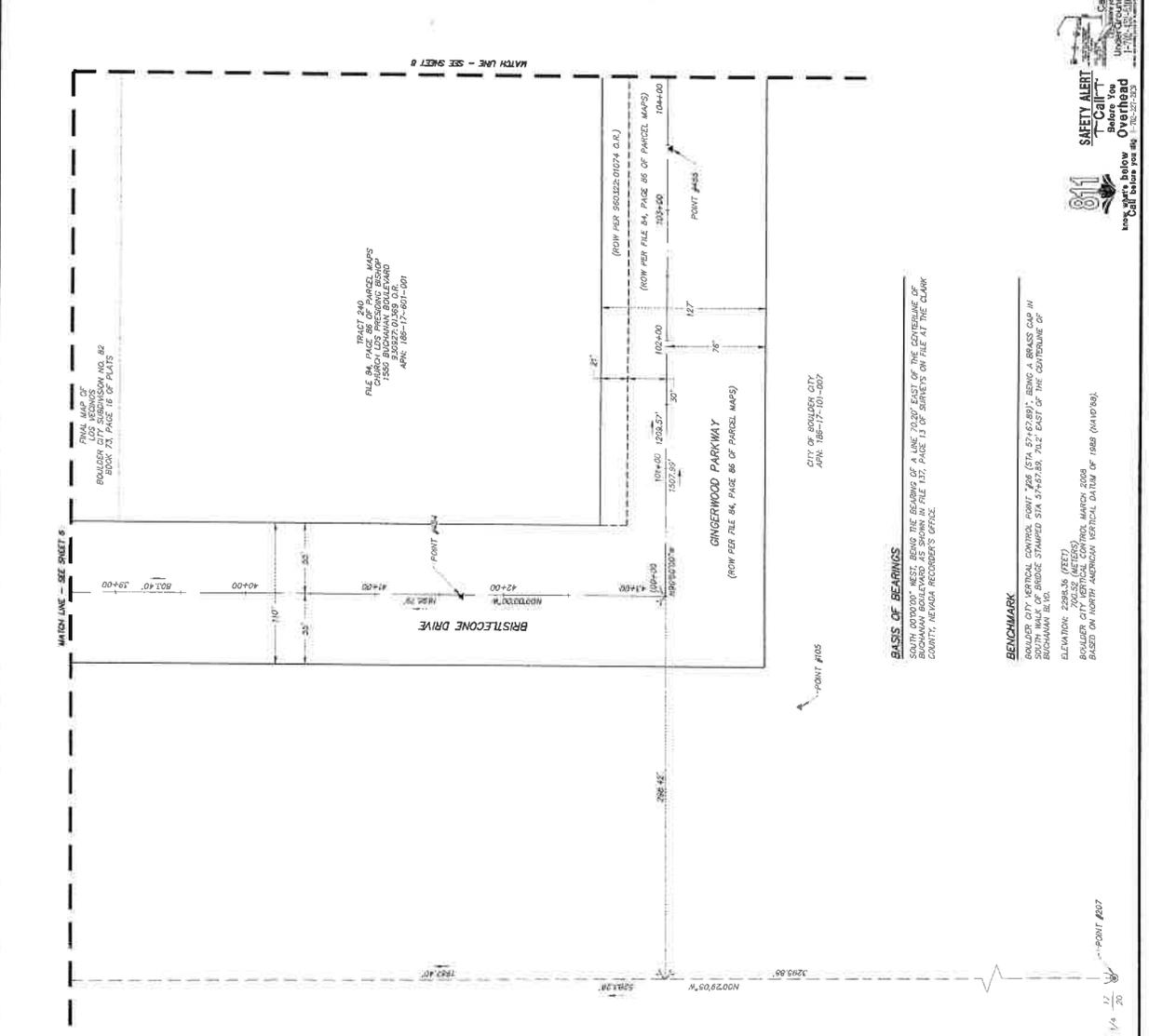












**LEGEND**

- POINT OR WY LINE
- EXISTING PARCEL LINE
- STREET CENTERLINE
- SECTION LINE
- QUARTER SECTION LINE
- FOUND MONUMENTATION AS SHOWN AND RECORDED
- FOUND MONUMENTATION AS SHOWN AND UNRECORDED
- RECALCULATED MONUMENTATION
- ASSESSOR'S PARCEL NUMBER
- RIGHT-OF-WAY
- OFFICIAL RECORDS

**GRAPHIC SCALE**  
 ( IN FEET )  
 1" = 40' R.

**TABLE**

POINT	NORTHING	EASTING	ELEVATION (FEET)	MONUMENT DESCRIPTION
101	684286.5092	7277.0813	2144.50	HT-1 SET P.P. WAIL IN ASPHALT
102	684286.5092	7277.0813	2144.50	HT-2 SET P.P. WAIL IN ASPHALT
103	684286.5092	7277.0813	2144.50	HT-3 SET P.P. WAIL IN ASPHALT
104	684286.5092	7277.0813	2144.50	HT-4 SET P.P. WAIL IN ASPHALT
105	684286.5092	7277.0813	2144.50	HT-5 SET P.P. WAIL IN ASPHALT
106	684286.5092	7277.0813	2144.50	HT-6 SET P.P. WAIL IN ASPHALT
107	684286.5092	7277.0813	2144.50	HT-7 SET P.P. WAIL IN ASPHALT
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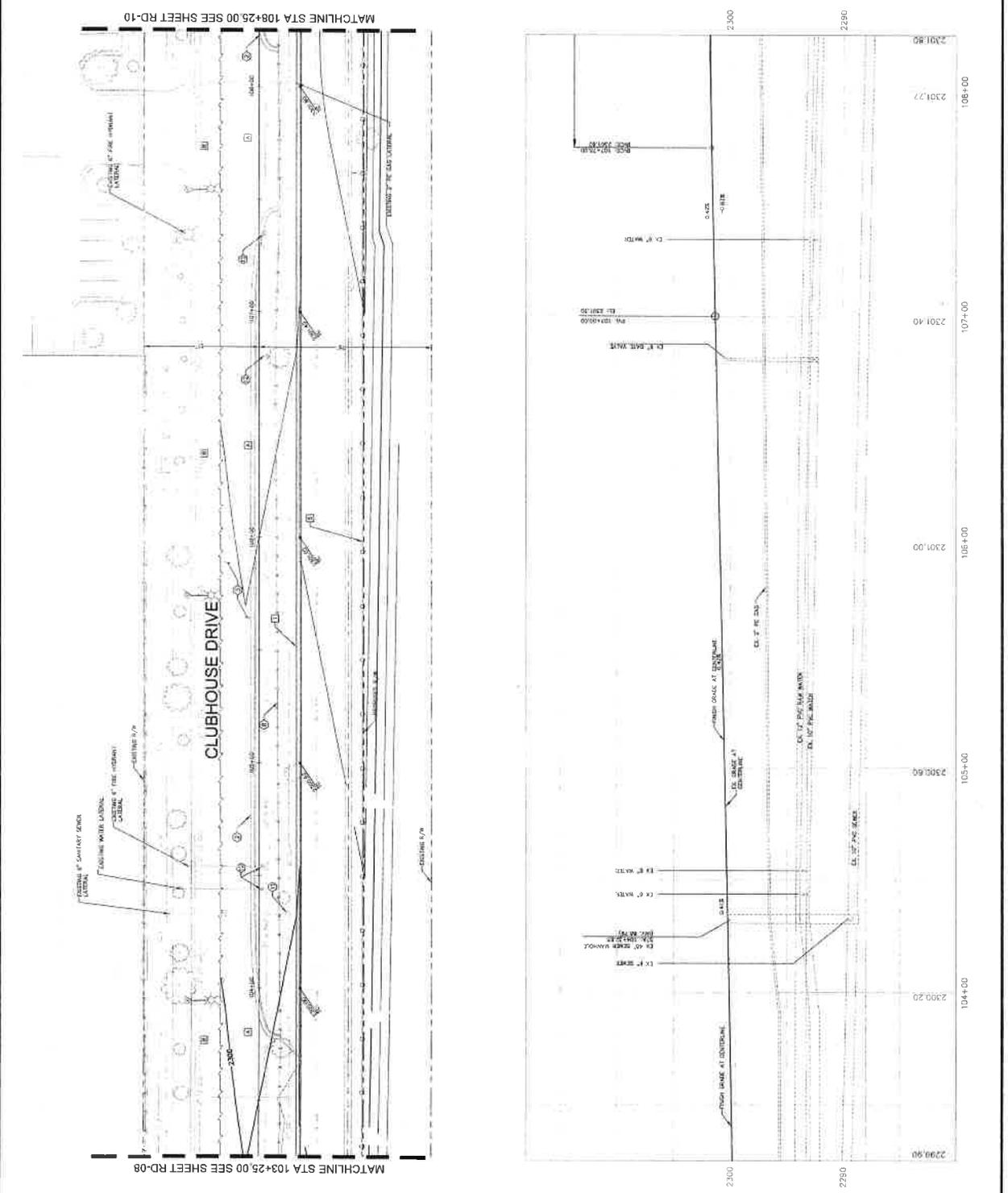
**CONSTRUCTION NOTES**

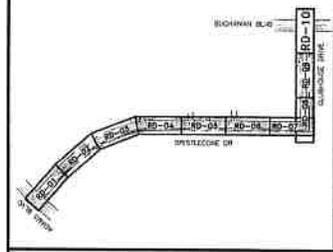
1. STRUCTURAL CONCRETE PAVEMENT SECTION (SEE SHEET 17-00 FOR STRUCTURAL SECTION)
2. 1" HLL AND 1" ASPHALT OVERLAY
3. CONSTRUCT "Y" TYPE CURB AND DITCH PER CONDO NO. 218
4. CONSTRUCT "X" TYPE CURB PER CONDO NO. 218
5. CONSTRUCT CONCRETE SIDEWALK RAMP
6. CONSTRUCT GRASS BUFFER PER CONDO NO. 218
7. 3" PVC CONDUIT MANHOLE AND LATERAL SIZES PER CONDO NO. 218
8. 3" PVC CONDUIT MANHOLE AND LATERAL SIZES PER CONDO NO. 218
9. 3" PVC CONDUIT MANHOLE AND LATERAL SIZES PER CONDO NO. 218
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17. 3" PVC CONDUIT MANHOLE AND LATERAL SIZES PER CONDO NO. 218
18. 3" PVC CONDUIT MANHOLE AND LATERAL SIZES PER CONDO NO. 218
19. 3" PVC CONDUIT MANHOLE AND LATERAL SIZES PER CONDO NO. 218
20. 3" PVC CONDUIT MANHOLE AND LATERAL SIZES PER CONDO NO. 218

**DEMOLITION NOTES**

1. REMOVE EXISTING CURB AND DITCH
2. REMOVE EXISTING SIDEWALK
3. REMOVE EXISTING ASPHALT DRIVE
4. REMOVE EXISTING ASPHALT DRIVE
5. REMOVE EXISTING ASPHALT DRIVE
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17. REMOVE EXISTING ASPHALT DRIVE
18. REMOVE EXISTING ASPHALT DRIVE
19. REMOVE EXISTING ASPHALT DRIVE
20. REMOVE EXISTING ASPHALT DRIVE

**KEY MAP**





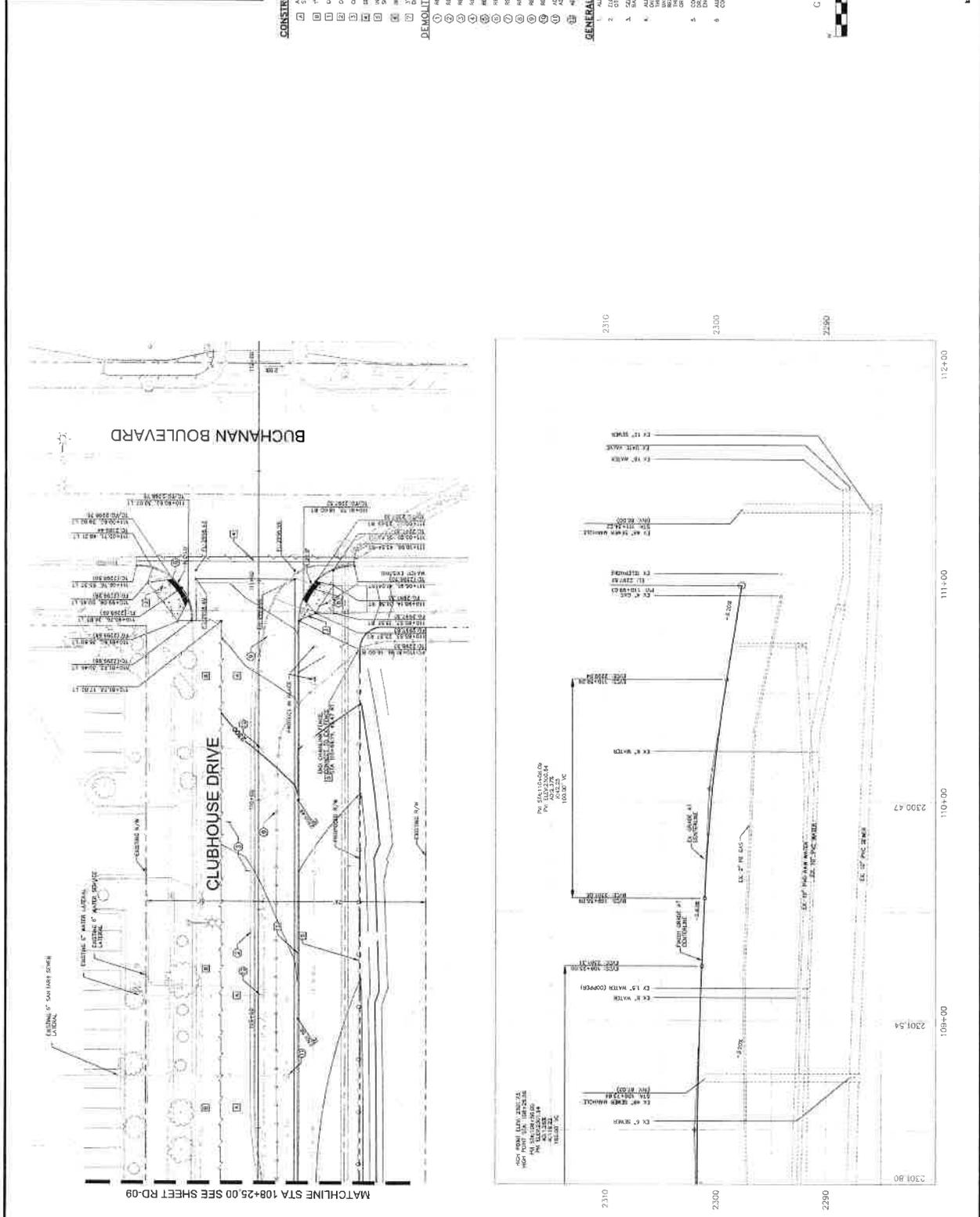
- CONSTRUCTION NOTES**
1. STRUCTURAL CONCRETE FURNISH SECTION (SEE SHEET 7-10 FOR STRUCTURAL SECTION)
  2. 1" MLL AND 1" ASPHALT OVERLAY
  3. CONTRACT "Y" TYPE CURB AND GUTTER PER COASD NO. 216
  4. CONTRACT "X" TYPE CURB PER COASD NO. 218
  5. CONTRACT CONCRETE SIDEWALK PAV
  6. CONTRACT CONCRETE UTILITY TRENCHES PER COASD NO. 218
  7. INSTALL 72" DIAM UTILITY TRENCH PER COASD NO. 222 WITH FT/CZ
  8. 12" PVC CONCRETE MANHOLE AND LATERAL SERVICE PER COASD NO. 222
  9. 12" PVC CONCRETE MANHOLE AND LATERAL SERVICE PER COASD NO. 222
  10. 12" PVC CONCRETE MANHOLE AND LATERAL SERVICE PER COASD NO. 222
  11. 12" PVC CONCRETE MANHOLE AND LATERAL SERVICE PER COASD NO. 222
  12. 12" PVC CONCRETE MANHOLE AND LATERAL SERVICE PER COASD NO. 222

- DEMOLITION NOTES**
1. REMOVE EXISTING CURB
  2. REMOVE EXISTING CURB AND GUTTER
  3. REMOVE ASPHALT PAVEMENT
  4. REMOVE EXISTING SIDEWALK
  5. REMOVE EXISTING SIDEWALK
  6. REMOVE EXISTING ASPHALT PAV
  7. REMOVE EXISTING CURB
  8. REMOVE EXISTING POLE
  9. REMOVE EXISTING SIGN
  10. REMOVE EXISTING CONCRETE
  11. REMOVE EXISTING MANHOLE TO GRADE CONTRACTOR TO ADJUST CORN AS NECESSARY TO AVOID CONFLICT WITH PROPOSED CURB
  12. ADJUST EXISTING MANHOLE TO GRADE

- GENERAL NOTES**
1. ALL TRENCHES AND UTILITY ARE SHOWN ON ORIGINAL PLAN
  2. EXISTING CURB AND GRADES ARE AT BACK OF CURB UNLESS OTHERWISE NOTED
  3. SEE THE SPECIFICATIONS FOR CONTROL, LINE INFORMATION, BENCHMARK, AND ALL CONSTRUCTION DETAILS
  4. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NEW YORK STATE DEPARTMENT OF TRANSPORTATION AND CONSTRUCTION SPECIFICATIONS AND STANDARDS FOR HIGHWAYS AND BRIDGES, LATEST EDITIONS, AND THE LATEST EDITIONS OF THE NEW YORK STATE DEPARTMENT OF TRANSPORTATION AND CONSTRUCTION SPECIFICATIONS AND STANDARDS FOR WATERWAYS AND MARINE STRUCTURES, LATEST EDITIONS
  5. CONTRACTOR TO FIELD VERIFY EXISTING SANITARY TRENCHES AND SIGNIFICANT UTILITY LOCATIONS AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES
  6. ALL MANHOLES, VALVES, ETC. LOCATED WITHIN THE LIMITS OF CONSTRUCTION SHALL BE ADJUSTED TO FINISHED GRADE

GRAPHIC SCALE  
 1" = 20' (VERTICAL)  
 1" = 100' (HORIZONTAL)

811 SAFETY ALERT  
 Stay Calm  
 Before You  
 Under-Overhead  
 Call before you dig  
 1-877-527-8329



**KEY MAP**

**CONSTRUCTION NOTES**

- ASPHALTIC CONCRETE PAVEMENT SECTION (SEE SHEET T-02 FOR STRUCTURAL SECTION)
- 1" ALL AND 1" ASPHALT OVERLAY
- CONSTRUCT "V" TYPE CURB AND OUTER PER COURSE RA. 218
- CONSTRUCT "V" TYPE CURB PER COURSE RA. 218
- CONSTRUCT CONCRETE SIDEWALK RAMP
- CONSTRUCT CROSS DITCH PER COURSE NO. 228
- CONSTRUCT DITCH PER COURSE NO. 228
- INSTALL INTERLOCKED MASONRY PER COURSE NO. 228
- 5" PVC CONDUIT MANHOLE AND LATERAL DITCHES, PVC SET 40"-3" BELOW FINISH GRADE
- INSTALL 18" DIA. 12" WALLS WITH MANHOLE 1/4" CIRC.
- REMOVE EXISTING CURB AND OUTER
- REMOVE ASPHALT PAVEMENT
- REMOVE EXISTING VEGETATION
- REMOVE EXISTING VALETT DITCHES
- REMOVE EXISTING ASPHALT DRIVE
- REMOVE EXISTING DRIVE
- REMOVE EXISTING FENCE
- REMOVE EXISTING SIGN
- REMOVE EXISTING CONCRETE
- REMOVE EXISTING MANHOLE AND LATERAL DITCHES TO MOVE DITCH TO EXISTING POSITION
- REMOVE EXISTING VALETT DITCHES TO IMPROVE DRAINAGE
- ADJUST EXISTING VALETT TO GRADE

**DEMOLITION NOTES**

- REMOVE EXISTING CURB AND OUTER
- REMOVE ASPHALT PAVEMENT
- REMOVE EXISTING VEGETATION
- REMOVE EXISTING VALETT DITCHES
- REMOVE EXISTING ASPHALT DRIVE
- REMOVE EXISTING DRIVE
- REMOVE EXISTING FENCE
- REMOVE EXISTING SIGN
- REMOVE EXISTING CONCRETE
- REMOVE EXISTING MANHOLE AND LATERAL DITCHES TO MOVE DITCH TO EXISTING POSITION
- REMOVE EXISTING VALETT DITCHES TO IMPROVE DRAINAGE
- ADJUST EXISTING VALETT TO GRADE

**GENERAL NOTES**

- LOCATIONS OFFERED ARE BASED ON CURRENT MAPS.
- CHANGES NOTED.
- BACK OF ROADWAY OR CONTROL LINE INFORMATION, RECONSTRUCT AND
- ALL EXISTING UTILITY LOCATIONS SHOWN HEREIN ARE APPROXIMATE. THE EXACT VERTICAL AND HORIZONTAL LOCATION OF ALL EXISTING UTILITIES SHALL BE DETERMINED BY FIELD SURVEY. ALL UTILITIES SHALL BE PROTECTED BY SHIELDING AND SHALL BE PROTECTED BY SHIELDING.
- CONTRACTOR TO FOLD, VERIFY EXISTING SANITARY SEWER AND STORM SEWER LOCATIONS, VERIFY ALL UTILITIES TO CONSTRUCTION AND ADJUST THE EXISTING OF ANY CONDUITS.
- CONTRACTOR SHALL BE RESPONSIBLE TO PROTECT EXISTING UTILITIES.

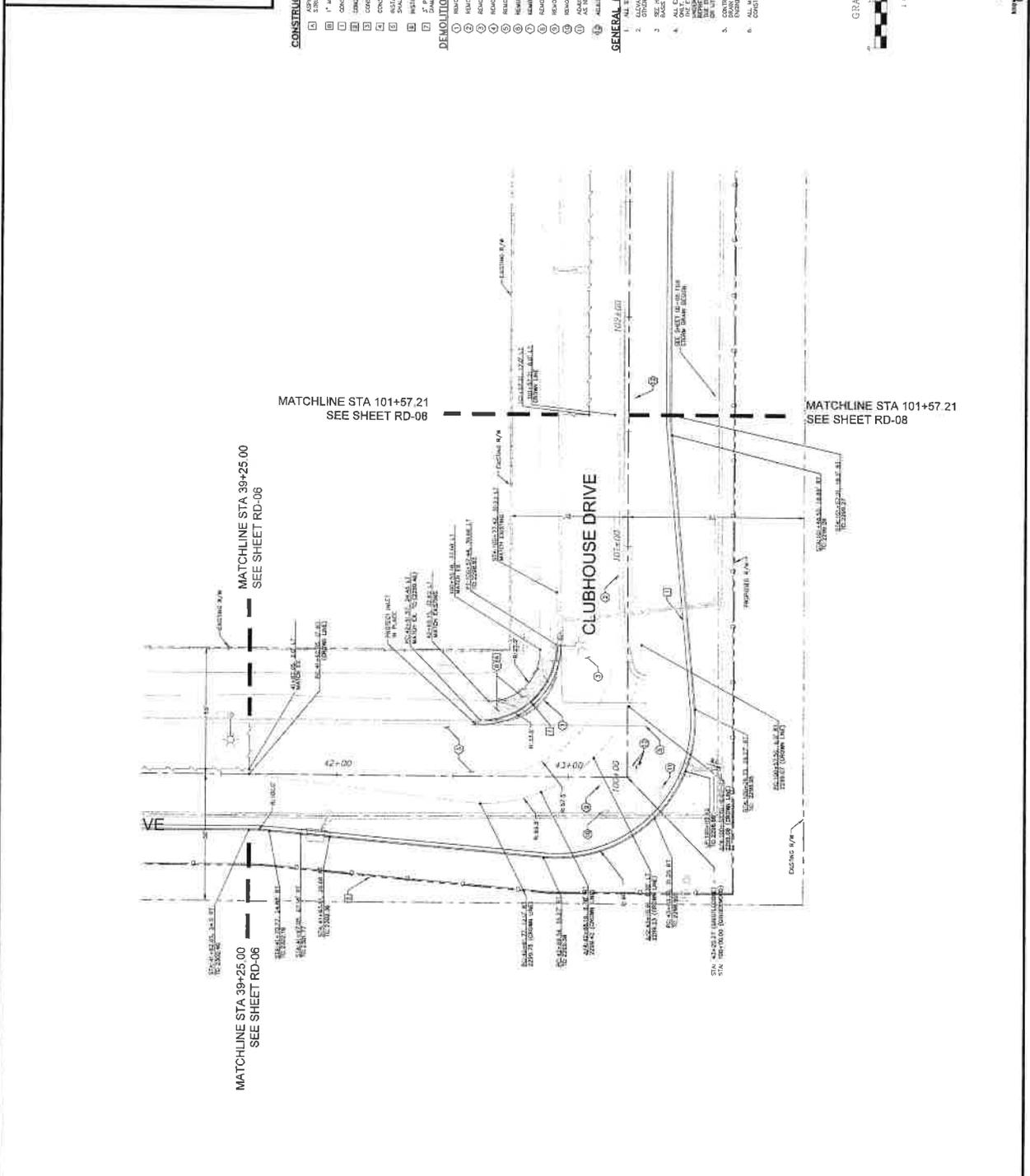
**GRAPHIC SCALE**

1" = 20' (OR FEET)

1" = 20' 1/2"

**SAFETY ALERT**

Call 811 Before You Dig

























- STORM DRAIN NOTES**
1. INSTALL 18" RCP
  2. INSTALL 18" CONCRETE (MINOR QUANTITY) PIPE
  3. INSTALL 24" RCP
  4. INSTALL 30" RCP
  5. INSTALL 36" RCP
  6. INSTALL 42" RCP
  7. INSTALL 48" RCP
  8. INSTALL 54" RCP
  9. INSTALL 60" RCP
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  11. INSTALL 72" RCP
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  14. INSTALL 90" RCP
  15. INSTALL 96" RCP
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  17. INSTALL 108" RCP
  18. INSTALL 114" RCP
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  628. INSTALL 3774" RCP
  629. INSTALL 3780" RCP
  630. INSTALL 3786" RCP
  631. INSTALL 3792" RCP













**STRUCTURAL NOTES:**

**CODE AND DESIGN LOADS**

1. DESIGN SPECIFICATION - 2012 INTERNATIONAL BUILDING CODE (IBC) WITH CLARK COUNTY AMENDMENTS
2. CONSTRUCTION SPECIFICATION - UNIFORM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION CLARK COUNTY AREA, NEVADA
3. JUNCTION STRUCTURE DESIGN LOADS:
  - a. LIVE LOAD - 80 PSF (DEAD LOAD - 15 PSF)
  - b. LATERAL EARTH PRESSURE: AT-BREAST = 40 PSF AT-REAR = 60 PSF
  - c. SURCHARGE = 240 PSF

**GENERAL STRUCTURAL NOTES:**

1. ALL CONCRETE SHALL BE CLASS NOTED: MIN. FC = 4000 PSI MIN. UNLESS NOTED OTHERWISE
2. REINFORCING STEEL SHALL BE ASTM A615, GRADE 60
3. REINFORCING STEEL SHALL BE WELDED AS REQUIRED TO PROVIDE 2" CLEAR UNLESS OTHERWISE NOTED ON THE PLANS
4. BAR SUPPORTS, DESIGN, DETAILING, FABRICATION AND PLACING OF REINFORCING BARS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF ACI 318 (BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE) AND "DETAILS AND DETAILING OF CONCRETE REINFORCEMENT" (ACI 308.3R-08)
5. BACKFILL SHALL NOT BE PLACED UNTIL CONCRETE HAS REACHED FULL 28-DAY COMPRESSIVE STRENGTH
6. ALL PROPOSED RISE SHALL BE CONSTRUCTED PER ROOT STANDARD PLAN B-20.1.1 THRU B-20.2.1

**SUPPLEMENTARY NOTES**

1. VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO STARTING WORK. NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR INCONSISTENCIES
2. VERIFY IN FIELD ALL EXISTING CONDITIONS SHOWN ON DRAWINGS
3. ESTABLISH AND VERIFY ALL OPENINGS AND INSERTS WITH APPROPRIATE TRADES. DRAWINGS PROVIDE ALL NECESSARY TEMPORARY BRACING, SHORING, OR OTHER MEANS TO AVOID COLLAPSE AND TO HOLD STRUCTURAL ELEMENTS IN PLACE DURING CONSTRUCTION
4. PROVIDE ALL NECESSARY DESIGN WORK, DUE TO ERRORS OR OMISSIONS IN CONSTRUCTION SHALL BE DONE BY THE CONTRACTOR
5. ANY ENGINEERING DESIGN PROVIDED BY OTHERS AND SUBMITTED FOR REVIEW SHALL BEAR THE DESIGNER'S SEAL AND SIGNATURE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSPECTION, SPECIAL INSPECTION, AND TESTING. THEY SHALL BE RESPONSIBLE FOR THE INSPECTION, SPECIAL INSPECTION, AND TESTING
6. COMPACT SUBGRADE PER GEOTECHNICAL REQUIREMENTS; MIN. 6" BELOW BOTTOM SLAB TO 55% RELATIVE COMPACTION

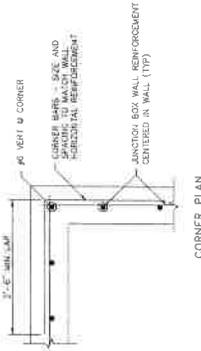
**SPECIAL INSPECTION**

1. SPECIAL INSPECTION IS REQUIRED OF MATERIALS, INSTALLATION, FABRICATION, ERECTION OR PLACEMENT OF COMPONENTS AND CONNECTIONS REQUIRING SPECIAL EXPERTISE TO ENSURE COMPLIANCE WITH APPROVED CONSTRUCTION DOCUMENTS
2. TIME IS AVAILABLE TO INSPECT AND RECORD INSPECTION SPECIAL INSPECTION TO INSURE AMPLIFIED
3. THE FOLLOWING ITEMS REQUIRE SPECIAL INSPECTION:

INSPECTION ITEMS	INSPECTION TASK	FREQUENCY OF INSPECTION	COMMENTS
STRUTTING AND CAST-IN-PLACE CONCRETE	REINFORCING STEEL INCLUDING VERIFICATION OF #, EMBEDMENT, SLUMP, AIR CONTENT, AND CONCRETE TEMPERATURE	PERIODIC	(1) (2) (4)
	PLACEMENT OF CONCRETE	CONTINUOUS	(1) (3)
	MAINTENANCE OF SPECIFIED CURING TEMPERATURE AND TECHNIQUES	CONTINUOUS	(2) (1)
	LOCATION AND DIMENSIONS	PERIODIC	(2) (3)
	INSPECT BARS TO BE INSTALLED IN CONCRETE PRIOR TO AND DURING PLACEMENT OF CONCRETE	PERIODIC	(1) (4)
		CONTINUOUS	(2) (2)

**COMMENTS**

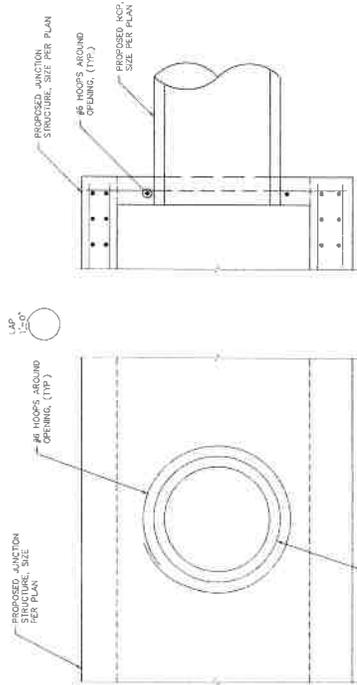
1. PERIODIC SPECIAL INSPECTION: THE PART-TIME OR INTERMITTENT OBSERVATION OF WORK IN PROGRESS TO VERIFY CONFORMANCE WITH THE DESIGN AND CONSTRUCTION DOCUMENTS IN THE AREA WHERE THE WORK HAS BEEN OR IS BEING PERFORMED AND AT THE COMPLETION OF WORK. (2012 IBC)
2. CONTINUOUS SPECIAL INSPECTION: THE FULL-TIME OBSERVATION OF WORK REQUIRING SPECIAL EXPERTISE TO ENSURE COMPLIANCE WITH THE DESIGN AND CONSTRUCTION DOCUMENTS IN THE AREA WHERE THE WORK IS BEING PERFORMED. (2012 IBC)
3. ITEMS NOT SHOWN MAY REQUIRE CONTINUOUS OR PERIODIC SPECIAL STRUCTURAL INSPECTION AT THE DISCRETION OF THE ENGINEER. ITEMS LISTED MAY REQUIRE ALTERNATE FREQUENCIES OF INSPECTION OTHER THAN SHOWN UNDER DIRECTION OF THE ENGINEER
4. LISTING OF REINFORCING STEEL NOT ACCEPTABLE UNLESS NOTED OTHERWISE ON THE PLANS OR AS SPECIFIED BY THE ENGINEER



CORNER PLAN

**TYPICAL CONCRETE WALL DETAILS**

NOT TO SCALE



ELEVATION

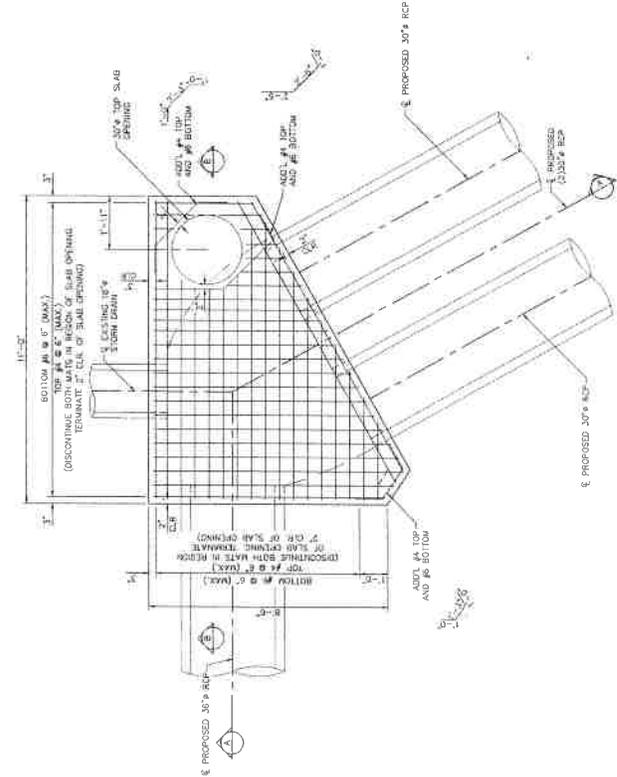
SECTION

**JUNCTION STRUCTURE / RCP PENETRATION DETAIL**

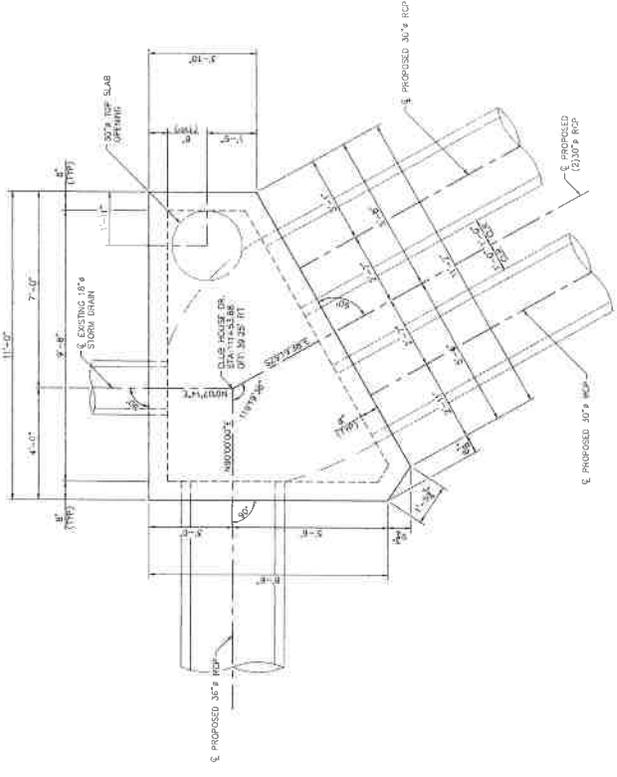
SCALE: 3/4"=1'-0"

- NOTE:  
 TYPICAL WALL HORIZONTAL REINFORCEMENT NOT SHOWN FOR CLARITY.  
 TRIM HORIZONTAL REINFORCEMENT AT RCP TO PROVIDE 2" MIN CLEAR COVER.

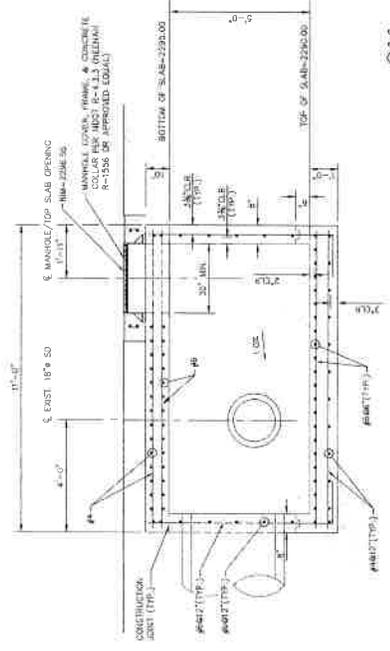




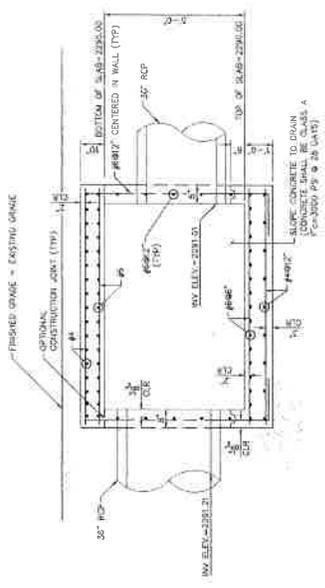
JUNCTION STRUCTURE (A)  
 TOP SLAB REINFORCING PLAN  
 SCALE: 3/4"=1'-0"



JUNCTION STRUCTURE (A) PLAN  
 SCALE: 3/4"=1'-0"



SECTION B-B  
 SCALE: 3/4"=1'-0"



SECTION A-A  
 SCALE: 3/4"=1'-0"



