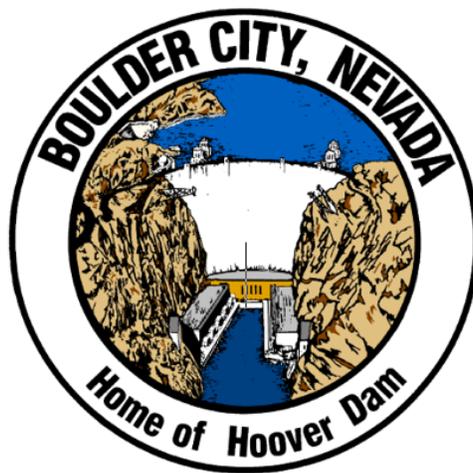


ANNEXATION REPORT FOR ELDORADO VALLEY BLM PROPERTY



January 25, 2023

Michael Mays, AICP Director

Boulder City Community Development Department

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INTRODUCTION

Section 15-13 of the 2003 Boulder City Master Plan provides special planning area polices for the Eldorado Valley. In part it states *“In addition to its recreation, environmental, and energy production uses, the Valley is of significant value to the city as an open space buffer on its southern border, preserving views of the dry lake bed, the distant mountain ranges, and the Valley floor.”* It goes on to say that *“The visual impacts of future development in the Eldorado Valley should be a strong consideration when reviewing future proposals for energy production facilities or other uses.”*

In working with the City of Henderson, the City has the opportunity to establish clear boundaries between the two communities that helps to preserve polices laid out within the Boulder City Master Plan through the annexation of Bureau of Land Management (BLM) land. A map summarizing the area to be annexed is provided as Exhibit A and a table summary is provided as Table 1 below:

TABLE 1 OWNERSHIP INFORMATION:

OWNER	ASSESSOR PARCEL NUMBER	TOWNSHIP, RANGE, SECTION	ACRES	LOCATION
USA/BLM	PT 18914000001	23-63-14	204.24	Skylar Solar
USA/BLM	PT 18921000001	23-63-19,20,28,29,30	1,360.00	McCullogh Ridge
USA/BLM	18932000001	23-63-31,32	640.00	McCullogh Ridge
USA/BLM	20700001002	24-63-6	175.17	McCullogh Ridge
USA/BLM	20700001003	24-63-5	175.47	McCullogh Ridge

Boulder City is proposing to annex approximately 2554.88 acres of land located in the Eldorado Valley and owned by the Bureau of Land Management (BLM). The BLM has provided a letter of no objection to the annexation of the land which will be mostly preserved as open space. For reference, subject area for proposed annexation has been divided into two areas and summarized below:

McCullogh Ridge Annexation Area

This area consists of approximately 2,350.64 acres, generally located 7,521 feet west of U.S. Highway 95 at the terminus of Spring Canyon Road in Clark County. In the McCullogh Ridge Mountains, the land is controlled by the BLM.

Skylar Solar Annexation Area

This area consists of approximately 204.24 acres, generally located 1,285 feet west of the U.S. Highway 95 and Interstate 11 interchange in Clark County. Adjacent to the McCullogh Ridge mountain range, the land is controlled by the BLM. Skylar Solar is currently negotiating a lease with the BLM to erect solar panels on a portion of this property.

ANNEXATION AREA

On February 14, 2023, Boulder City Council adopted Resolution No. 7581 noticing the City’s intent to annex the following area: (See page 13 for EXHIBIT A).

Annexation Area Description: APN: 207-00-001-002, 207-00-001-003, 189-32-000-001, A PORTION OF 189-21-000-001, AND A PORTION OF 189-14-000-001

Legal Description:

APN: 207-00-001-002: GOVERNMENT LOTS 8 AND 9 AND THE SOUTH HALF (S 1/2) OF THE NORTHEAST QUARTER (NE 1/4) OF SECTION 6, TOWNSHIP 24 SOUTH, RANGE 63 EAST, M.D.M.; CONTAINS 175.17 ACRES, MORE OR LESS.

APN: 207-00-001-003: GOVERNMENT LOTS 7 AND 8 AND THE SOUTH HALF (S 1/2) OF THE NORTHWEST QUARTER (NW 1/4) OF SECTION 5, TOWNSHIP 24 SOUTH, RANGE 63 EAST, M.D.M.; CONTAINS 175.47 ACRES, MORE OR LESS.

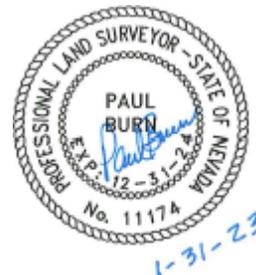
APN: 189-32-000-001: THE EAST HALF (E 1/2) OF THE EAST HALF (E 1/2) OF SECTION 31, TOWNSHIP 23 SOUTH, RANGE 63 EAST, M.D.M.; THE NORTHWEST QUARTER (NW 1/4); THE NORTHEAST QUARTER (NE 1/4); THE SOUTHWEST QUARTER (SW 1/4) OF SECTION 32, TOWNSHIP 23 SOUTH, RANGE 63 EAST, M.D.M.; CONTAINS 640 ACRES, MORE OR LESS.

A PORTION OF APN: 189-21-000-001: THE EAST HALF (E 1/2) OF THE SOUTHEAST QUARTER (SE 1/4) OF SECTION 19, TOWNSHIP 23 SOUTH, RANGE 63 EAST, M.D.M.; THE SOUTHWEST QUARTER (SW 1/4) OF SECTION 20, TOWNSHIP 23 SOUTH, RANGE 63 EAST, M.D.M.; THE WEST HALF (W 1/2) OF SECTION 28, TOWNSHIP 23 SOUTH, RANGE 63 EAST, M.D.M.; ALL OF SECTION 29, TOWNSHIP 23 SOUTH, RANGE 63 EAST, M.D.M.; THE EAST HALF (E 1/2) OF THE EAST HALF (E 1/2) OF SECTION 30, TOWNSHIP 23 SOUTH, RANGE 63 EAST, M.D.M.; CONTAINS 1360 ACRES, MORE OR LESS.

A PORTION OF APN: 189-14-000-001: GOVERNMENT LOTS 6, 7, 11 AND 12 AND THE SOUTHWEST QUARTER (SW 1/4) OF SECTION 14, TOWNSHIP 23 SOUTH, RANGE 63 EAST, M.D.M.; **EXCEPTING THEREFROM** THE WEST 50 FEET AND THE NORTH 50 FEET OF SAID SOUTHWEST QUARTER (SW 1/4); **FURTHER EXCEPTING THEREFROM** THE NORTH 50 FEET OF SAID GOVERNMENT LOTS 6 AND 11; CONTAINS 204.24 ACRES, MORE OR LESS.

TOTAL AREA: CONTAINS 2554.88 ACRES, MORE OR LESS.
END OF DESCRIPTION

PAUL BURN, PLS
PROFESSIONAL AND SURVEYOR
NEVADA LICENSE NO. 11174



STATEMENT OF COMPLIANCE WITH NRS 268.580

Nevada Revised Statutes (NRS) 268.580 General Standards of Territory to be Annexed subsection 1 states: *“The governing body of any city may extend the corporate limits of the city to include any territory which meets the general standards of subsection 2 and every part of which meets the requirements of subsection 3, 4, 5 or 6.”*

To address the first part of the paragraph above, the City of Boulder City is given the authority to extend the corporate limits to include any territory which meets the general standards of Nevada Revised Statutes (NRS) 268.580, subsection 2. Subsection 2 states: *“The total area proposed to be annexed must meet the following standards: (a) it must be contiguous to the annexing city's boundaries at the time the annexation proceedings are instituted. (b) Not less than one-eighth of the aggregate external boundaries must be contiguous to the boundaries of the annexing city. (c) No part of the territory proposed to be annexed may be included within the boundaries of another incorporated city as those boundaries exist on July 1, 1983. (d) No part of the territory proposed to be annexed may be included within the boundaries of any unincorporated town as those boundaries exist on July 1, 1983, without the prior approval of the governing body of the unincorporated town in which the territory is located.”* The subject areas being considered for annexation meet/exceed the minimum requirements outlined in NRS 268.580 2 (a), (b), (c), and (d).

Exhibit B on page 14, of this document titled “Annexation Area Contiguous Boundaries” demonstrates meeting the criteria of NRS 268.580 Subsection 2. Exhibit B shows that:

- The subject areas are contiguous to Boulder City’s existing boundaries
- Over one-eighth of the aggregate external boundaries are contiguous to Boulder City
- No part of the subject areas is part of another incorporated city
- No part of the subject areas are part of any unincorporated town

NRS 268.580 also states that the proposed annexation area must also meet Subsection 3, 4, 5 **or** 6. The subject areas meet Subsection 6 requirements as provided for below:

Skylar Solar Annexation Area

The City meets the requirements of Subsection 6, which states: *“A governing body may also annex any territory that does not meet the requirements of subsection 3 if: (a) The owners of record of not less than 75 percent of the individual lots or parcels of land within the territory sign a petition requesting the governing body to annex the territory to the municipality; or (b) The governing body receives a written statement from a governmental entity indicating that the governmental entity: (1) Owns the territory; and (2) Does not object to the annexation of that territory by the governing body.”* NRS 268.580.6(a) is not applicable to the Skylar Solar annexation area because the proposed lands in question are not held in private ownership.

The territory meets the qualifications of NRS 268.580.6(b) and a copy of the “letter of no objection” from the BLM can be found on page 20 of this document. In the letter, it should be noted that BLM is the government entity responsible for the management of all the land within this annexation area.

McCullogh Ridge Annexation Area

The City meets the requirements of Subsection 6, which states: *“A governing body may also annex any territory that does not meet the requirements of subsection 3 if: (a) The owners of record of not less than 75 percent of the individual lots or parcels of land within the territory sign a petition requesting the governing body to annex the territory to the municipality; or (b) The governing body receives a written statement from a governmental entity indicating that the governmental entity: (1) Owns the territory; and (2) Does not object to the annexation of that territory by the governing body.”* NRS 268.580.6(a) is not applicable to the McCullogh Ridge annexation area because the proposed lands in question are not held in private ownership.

The territory meets the qualifications of NRS 268.580.6(b) and a copy of the “letter of no objection” from the BLM can be found on page 20 of this document. In the letter, it should be noted that the BLM is the government entity responsible for the management of all the land within this annexation area.

In summary

The City complies with the provisions of (NRS) 268.580 “General Standards of Territory to be Annexed” for the reason that the general standards of subsection 2 and subsection 6 have been met, and because as government-controlled land, it does not require compliance with subsections 3, 4, and 5.

Further, both the Skylar Solar and the McCullogh Ridge proposed annexation areas meet the provisions of NRS 268.580.2(a), (b), (c) and (d).

- Both territories contain no privately held parcels therefore NRS 268.580.6(a) is not applicable.
- Both territories meets the provisions of NRS 268.580.6(b). A copy of the letter of no objection from the government entity managing the lands BLM can be found on page 20.

STATEMENT OF SERVICES TO BE PROVIDED TO ANNEXATION AREA NRS 268.578(4)

In accordance with NRS 268.578 subsection 4(a), police protection, fire protection, street maintenance and garbage collection will be provided to the annexation area on the same basis and in a similar manner as such services are provided to the current City property owners and residents.

PUBLIC STREETS

Skylar Solar Annexation Area

The City does not plan to develop, or cause to develop, the area identified as the Skylar Solar Annexation Area except for the proposed Skylar Solar Project. The purpose of annexing this area is purely administrative in efforts to clearly define the corporate boundary between the cities of Henderson and Boulder City. The intent upon annexation, if annexation is achieved, will be to designate this area as Open Lands as defined in the 2003 Boulder City Master Plan and solar uses for that area leased by the BLM to Skylar. The land will continue to be managed and administered by the BLM. This area is currently served by Old Highway 95 and planned future roads by the City of Henderson.

McCullogh Ridge Annexation Area

The City does not plan to develop, or cause to develop, the area identified as the McCullogh Ridge Annexation Area. The purpose of annexing this area is purely administrative in efforts to clearly define the corporate boundary between the cities of Boulder City and Henderson. The intent upon annexation, if annexation is achieved, will be to keep this area designated as Open Lands as defined in the 2003 Boulder City Master Plan and it will continue to be managed and administered by the BLM.

WATER SERVICE

Skylar Solar Annexation Area

The City does not plan to develop, or cause to develop, the area identified as the Skylar Solar Annexation Area except for the proposed Skylar Solar Project. The purpose of annexing this area is purely administrative in efforts to clearly define the corporate boundary between the cities of Henderson and Boulder City. The intent upon annexation, if annexation is achieved, will be to designate this area as Open Lands as defined in the 2003 Boulder City Master Plan and solar uses for that area leased to Skylar. The land will continue to be managed and administered by the BLM.

McCullogh Ridge Annexation Area

The City does not plan to develop, or cause to develop, the area identified as the McCullogh Ridge Annexation Area. The purpose of annexing this area is purely administrative in efforts to clearly define the corporate boundary between the cities of Henderson and Boulder City. The intent upon annexation, if annexation is achieved, will be to keep this area designated as Open Lands as

defined in the 2003 Boulder City Master Plan and it will continue to be managed and administered by the BLM.

SANITARY SEWER SERVICE

Skylar Solar Annexation Area

The City does not plan to develop, or cause to develop, the area identified as the Skylar Solar Annexation Area except for the proposed Skylar Solar Project. The purpose of annexing this area is purely administrative in efforts to clearly define the corporate boundary between the cities of Henderson and Boulder City. The intent upon annexation, if annexation is achieved, will be to designate this area as Open Lands as defined in the 2003 Boulder City Master Plan and solar uses for that area leased to Skylar. The land will continue to be managed and administered by the BLM.

McCulloch Ridge Annexation Area

The City does not plan to develop, or cause to develop, the area identified as the McCulloch Ridge Annexation Area. The purpose of annexing this area is purely administrative in efforts to clearly define the corporate boundary between the cities of Boulder City and Henderson. The intent upon annexation, if annexation is achieved, will be to keep this area designated as Open Lands as defined in the 2003 Boulder City Master Plan and it will continue to be managed and administered by the BLM.

FLOOD CONTROL SERVICE

Skylar Solar Annexation Area

The City does not plan to develop, or cause to develop, the area identified as the Skylar Solar Annexation Area except for the proposed Skylar Solar Project. The purpose of annexing this area is purely administrative in efforts to clearly define the corporate boundary between the cities of Henderson and Boulder City. The intent upon annexation, if annexation is achieved, will be to designate this area as Open Lands as defined in the 2003 Boulder City Master Plan and solar uses for that area leased to Skylar. The land will continue to be managed and administered by the BLM.

The 2023 Boulder City Flood Control Master Plan and the 2018 Las Vegas Valley Flood Control Plan do not show any draining improvements planned for the proposed annexation area.

McCulloch Ridge Annexation Area

The City does not plan to develop, or cause to develop, the area identified as the McCulloch Ridge Annexation Area. The purpose of annexing this area is purely administrative in efforts to clearly define the corporate boundary between the cities of Boulder City and Henderson. The intent upon annexation, if annexation is achieved, will be to keep this area designated as Open Lands as defined in the 2003 Boulder City Master Plan and it will continue to be managed and administered by the BLM.

The 2023 Boulder City Flood Control Master Plan and the 2018 Las Vegas Valley Flood Control Plan do not show any draining improvements planned for the proposed annexation area.

POLICE PROTECTION SERVICE

Through reciprocal interlocal agreements with the City and various other local agencies, mutual aid cooperation as first responders occurs valley wide in southern Nevada. The Boulder City Police Department will provide police protection services immediately upon annexation of the areas noted below. Police services will be dispatched out of the existing Police Department located at 1005 Arizona Street. Please refer to Exhibit G on page 19 to view the proximity of the existing Fire Station relative to the proposed annexation area.

Skylar Solar Annexation Area

The City does not plan to develop, or cause to develop, the area identified as the Skylar Solar Annexation Area except for the proposed Skylar Solar Project. The purpose of annexing this area is purely administrative in efforts to clearly define the corporate boundary between the cities of Henderson and Boulder City. The intent upon annexation, if annexation is achieved, will be to designate this area as Open Lands as defined in the 2003 Boulder City Master Plan and solar uses for that area leased to Skylar. The land will continue to be managed and administered by the BLM.

McCulloch Ridge Annexation Area

The City does not plan to develop, or cause to develop, the area identified as the McCulloch Ridge Annexation Area. The purpose of annexing this area is purely administrative in efforts to clearly define the corporate boundary between the cities of Boulder City and Henderson. The intent upon annexation, if annexation is achieved, will be to keep this area designated as Open Lands as defined in the 2003 Boulder City Master Plan and it will continue to be managed and administered by the BLM.

The City of Boulder City, in conjunction with the City of Henderson, have partnered to provide the Eldorado Valley Regional Public Safety Training Facility (Regional Training Facility) south of and adjacent to the proposed McCulloch Ridge annexation area. There are no anticipated changes or known impacts to the Regional Training Facility as a result of this annexation.

FIRE PROTECTION AND AMBULANCE SERVICE

Through reciprocal interlocal agreements with the City of Boulder City (City) and various other local agencies, mutual aid cooperation as first responders occurs valley wide in southern Nevada. More specifically to the Skylar Solar and the McCulloch Ridge annexation areas, the City's Fire Department will provide fire protection and ambulance services immediately upon annexation. These services will be dispatched out of the existing Fire Station located at 1101 Elm Street. Please

refer to Exhibit G on page 19 to view the proximity of the existing Fire Station relative to the proposed annexation area.

Skylar Solar Annexation Area

The City does not plan to develop, or cause to develop, the area identified as the Skylar Solar Annexation Area except for the proposed Skylar Solar Project. The purpose of annexing this area is purely administrative in efforts to clearly define the corporate boundary between the cities of Henderson and Boulder City. The intent upon annexation, if annexation is achieved, will be to designate this area as Open Lands as defined in the 2003 Boulder City Master Plan and solar uses for that area leased to Skylar. The land will continue to be managed and administered by the BLM.

McCulloch Ridge Annexation Area

The City does not plan to develop, or cause to develop, the area identified as the McCulloch Ridge Annexation Area. The purpose of annexing this area is purely administrative in efforts to clearly define the corporate boundary between the cities of Boulder City and Henderson. The intent upon annexation, if annexation is achieved, will be to keep this area designated as Open Lands as defined in the 2003 Boulder City Master Plan and it will continue to be managed and administered by the BLM.

STREET MAINTENANCE SERVICE

Skylar Solar Annexation Area

The City does not plan to develop, or cause to develop, the area identified as the Skylar Solar Annexation Area except for the proposed Skylar Solar Project. The purpose of annexing this area is purely administrative in efforts to clearly define the corporate boundary between the cities of Henderson and Boulder City. The intent upon annexation, if annexation is achieved, will be to designate this area as Open Lands as defined in the 2003 Boulder City Master Plan and solar uses for that area leased to Skylar. The land will continue to be managed and administered by the BLM.

McCulloch Ridge Annexation Area

The City does not plan to develop, or cause to develop, the area identified as the McCulloch Ridge Annexation Area. The purpose of annexing this area is purely administrative in efforts to clearly define the corporate boundary between the cities of Boulder City and Henderson. The intent upon annexation, if annexation is achieved, will be to keep this area designated as Open Lands as defined in the 2003 Boulder City Master Plan and it will continue to be managed and administered by the BLM.

TRAIL MAINTENANCE SERVICE

No designated trails exist or are planned for the Skylar Solar Annexation Area or the McCullogh Ridge Annexation Area.

GARBAGE SERVICE

As no development is planned for Skylar Solar Annexation Area or the McCullogh Ridge Annexation Area (with the exception of the proposed Skylar Solar lease) no solid waste collection no services will be required for the proposed annexation area.

OTHER SERVICES

Other City services such as, but not limited to, participation in recreation programs, special education class programs, public works, building inspection, and planning activities would be available, however no development is planned for the proposed annexation area (except the Skylar Solar project). Utilities such as gas, cable, fiber optics, and telephones are provided by private utility companies and are not addressed in this report.

It should be noted that there are several existing major power transmission towers and powerlines that traverse the McCullogh Ridge annexation area; also existing within this area are large diameter high pressure gas line(s). These facilities are owned and operated by private utility companies through easement rights provided by BLM.

LAND USE

Skylar Solar Annexation Area

The City does not plan to develop, or cause to develop, the area identified as the Skylar Solar Annexation Area except for the proposed Skylar Solar Project. The purpose of annexing this area is purely administrative in efforts to clearly define the corporate boundary between the cities of Henderson and Boulder City. The intent upon annexation, if annexation is achieved, will be to designate this area as Open Lands as defined in the 2003 Boulder City Master Plan and solar uses for that area leased to Skylar. The land will continue to be managed and administered by the BLM.

McCullogh Ridge Annexation Area

The City does not plan to develop, or cause to develop, the area identified as the McCullogh Ridge Annexation Area. The purpose of annexing this area is purely administrative in efforts to clearly define the corporate boundary between the cities of Boulder City and Henderson. The intent upon annexation, if annexation is achieved, will be to keep this area designated as Open Lands as defined in the 2003 Boulder City Master Plan and it will continue to be managed and administered by the BLM.

FUNDING

Additional funding by the City of Boulder City is not required to support the proposed annexation of this area as the City intends to preserve the proposed annexation area as open space managed and administered by the BLM.

EXHIBIT A - MAP OF AREA TO BE ANNEXED

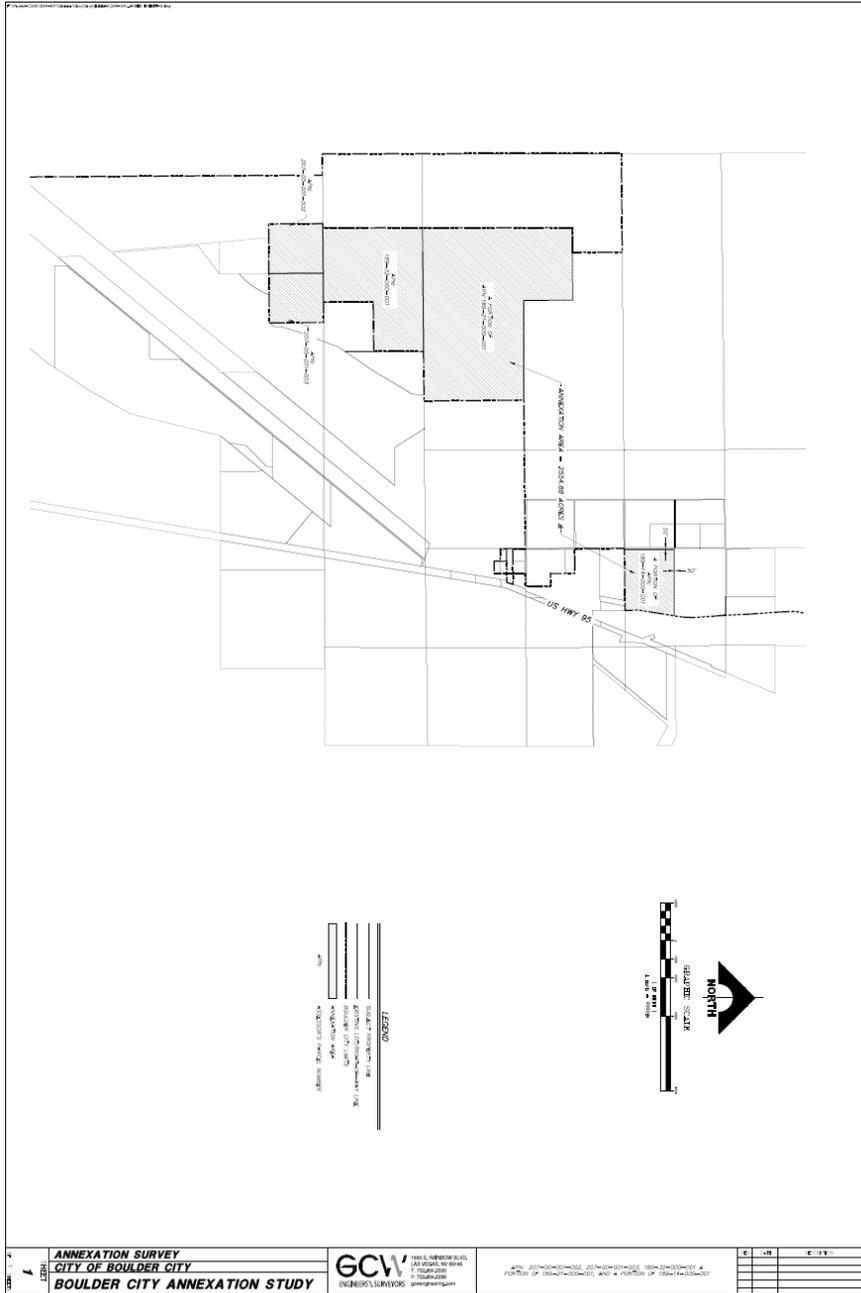
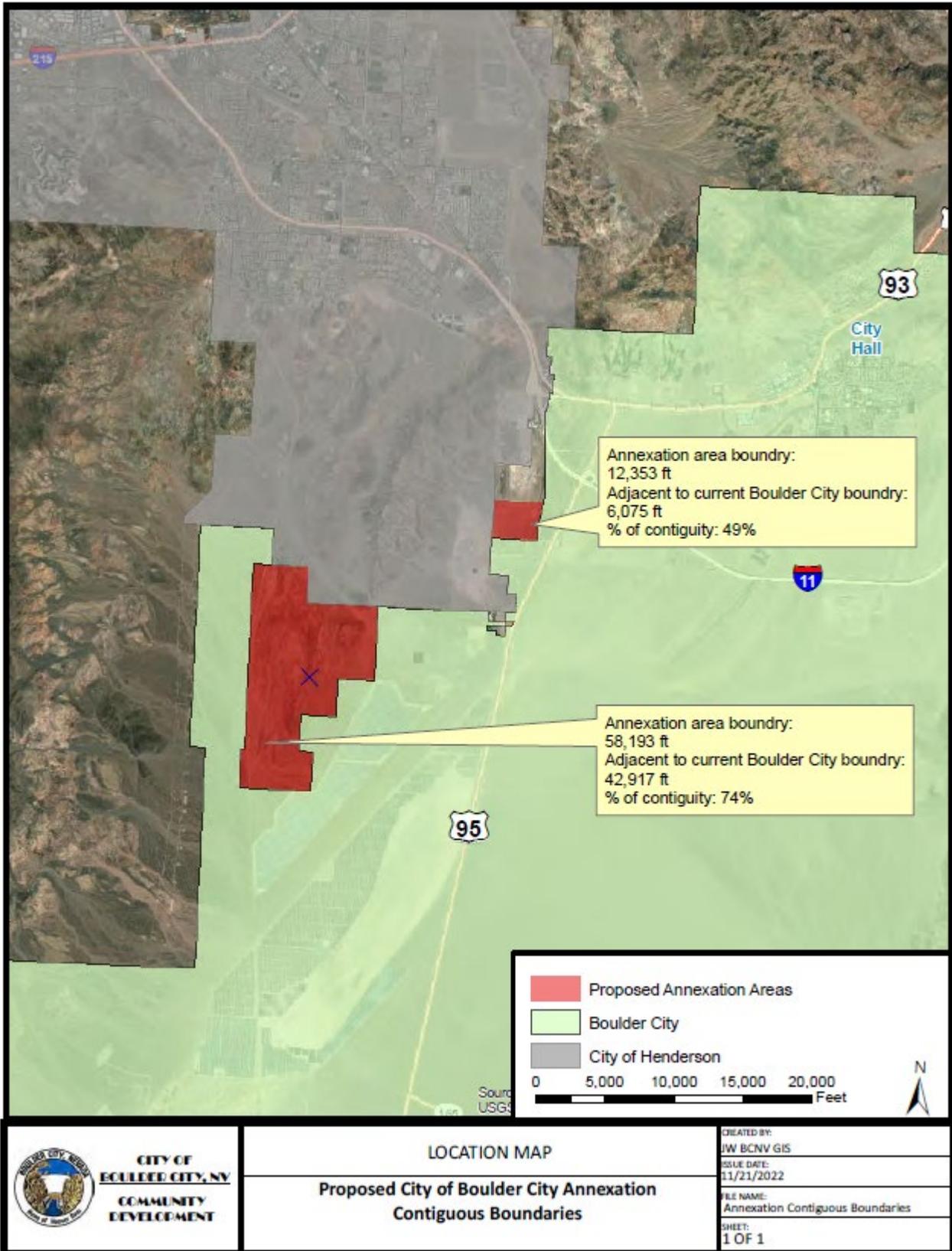


EXHIBIT B - MAP OF CONTIGUOUS BOUNDARIES



**CITY OF
BOULDER CITY, NV
COMMUNITY
DEVELOPMENT**

LOCATION MAP

**Proposed City of Boulder City Annexation
Contiguous Boundaries**

EXHIBIT C - MAP OF EXISTING/PROPOSED CITY BOUNDARIES

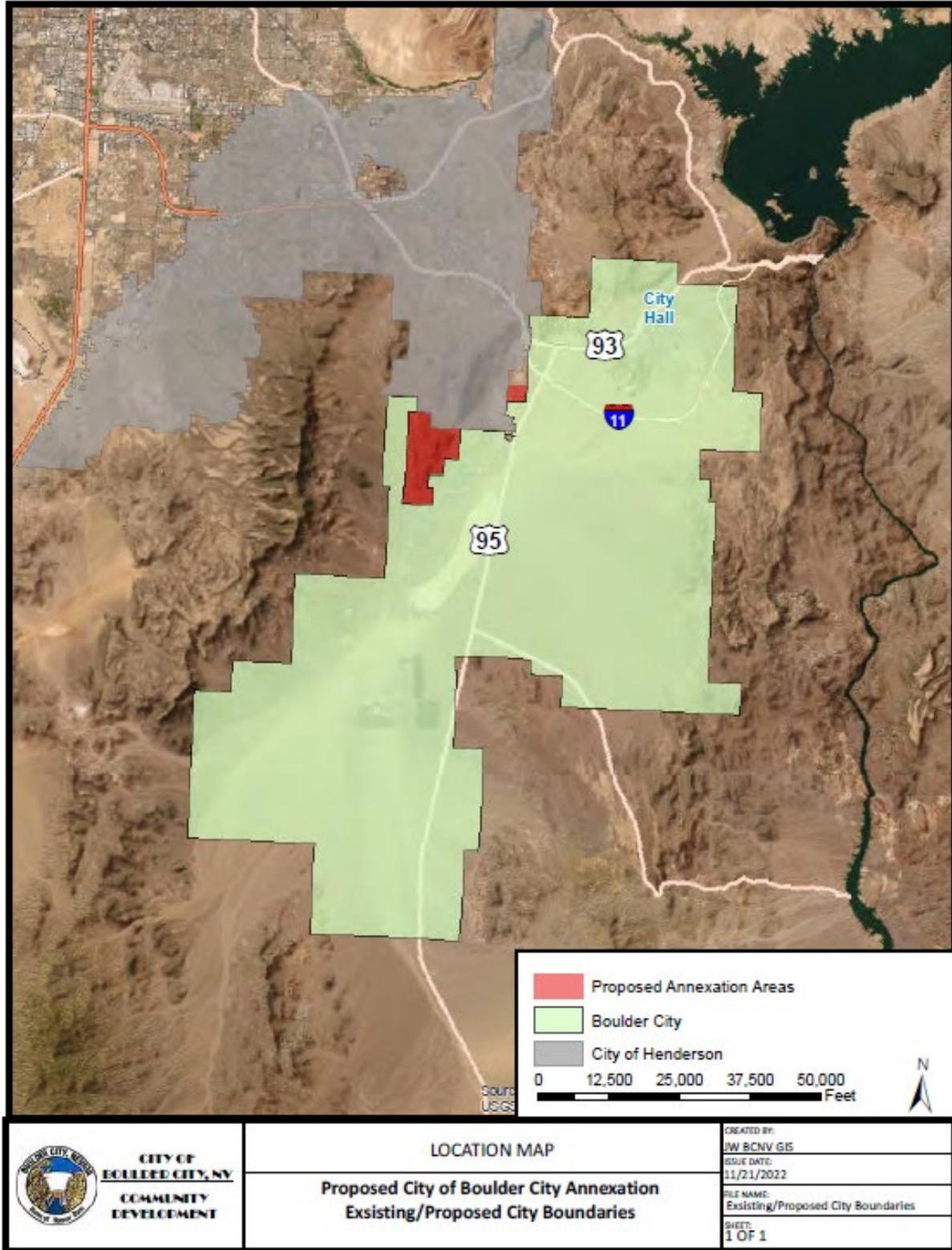


EXHIBIT D -MAP OF EXISTING STREETS, SEWER AND TRUNK WATER MAINS

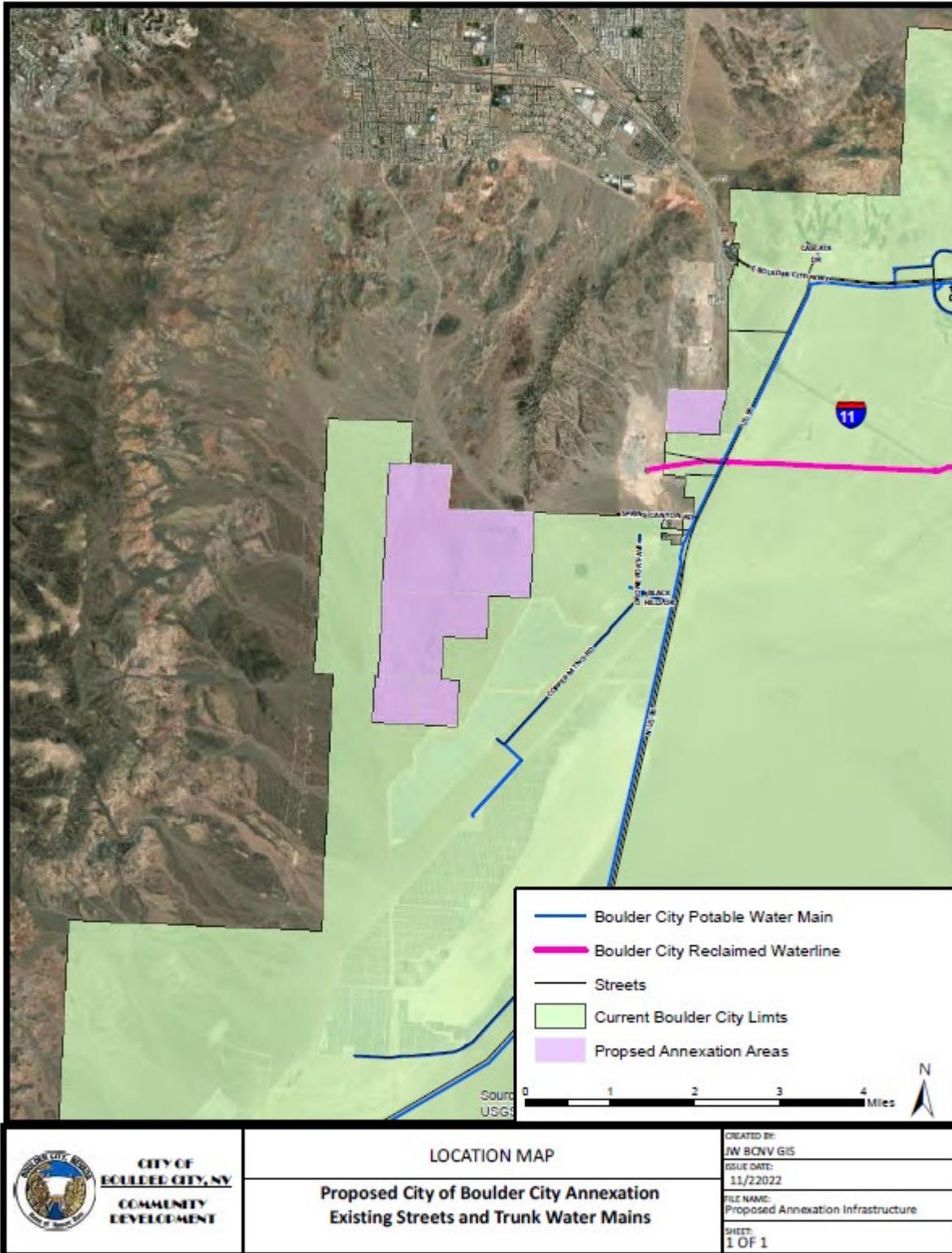


EXHIBIT E -MAP OF EXISTING/PROPOSED REGIONAL FLOOD CONTROL FACILITIES

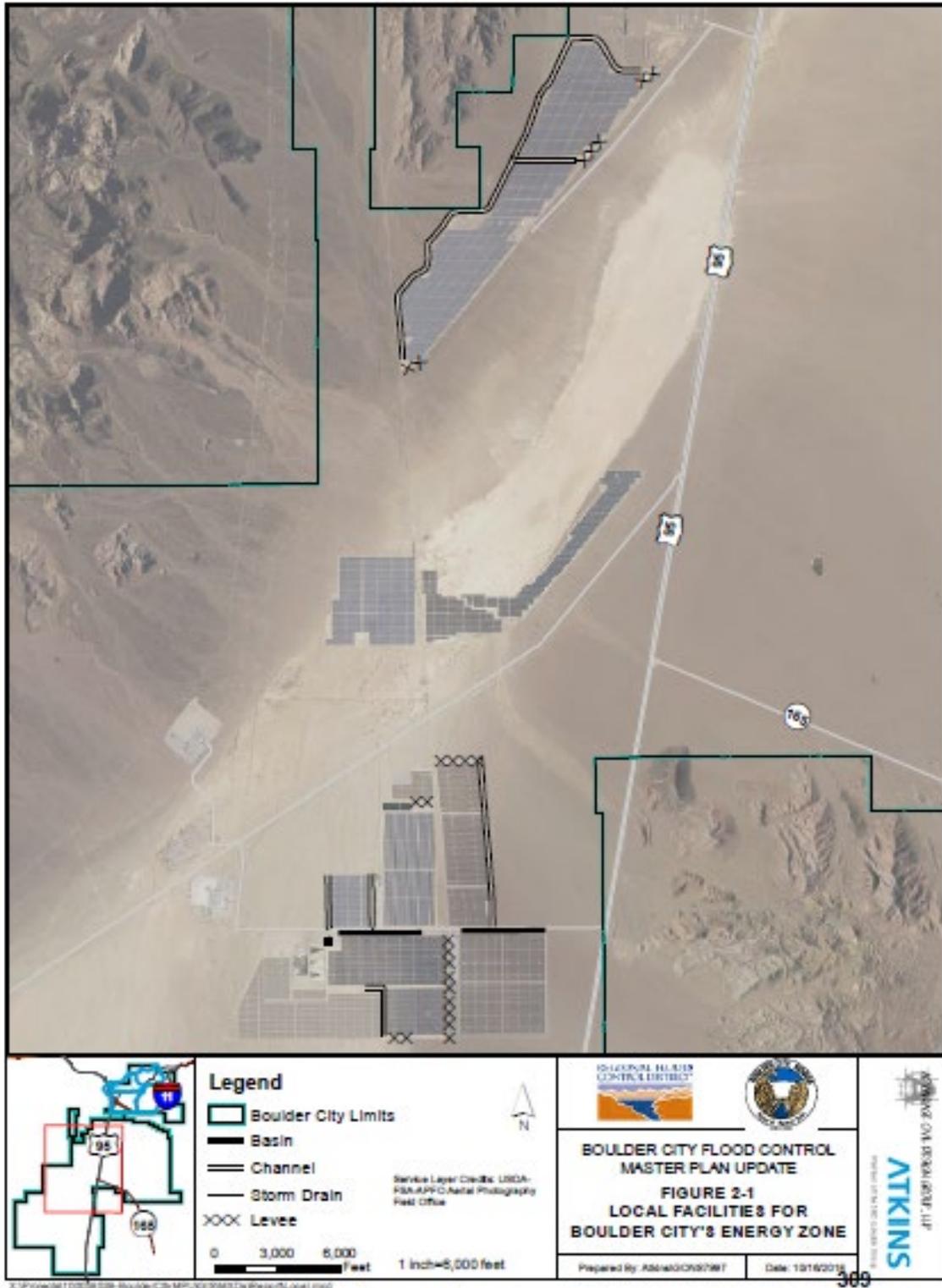
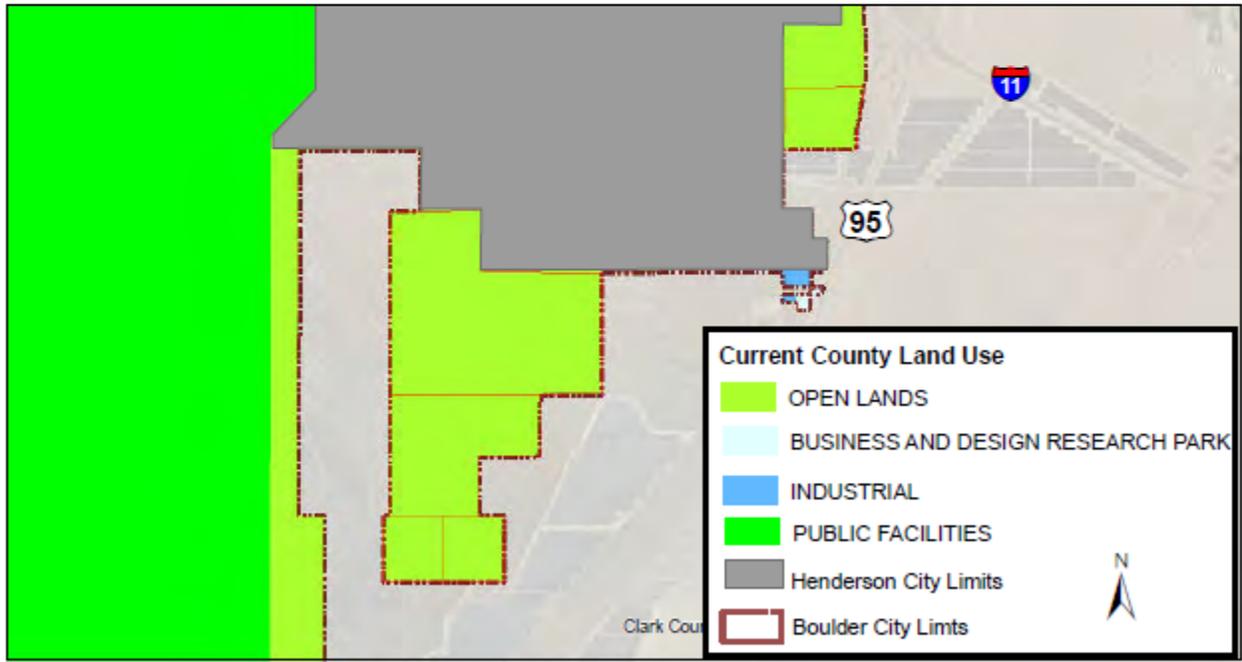
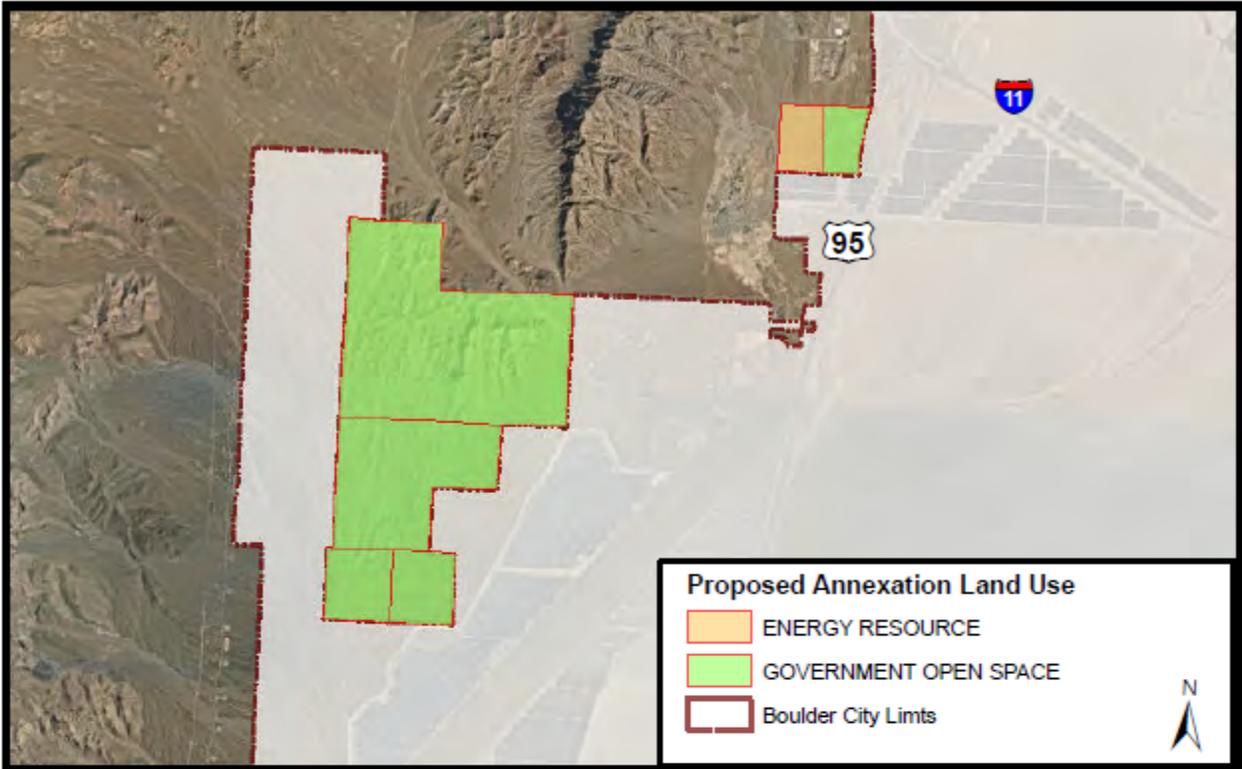
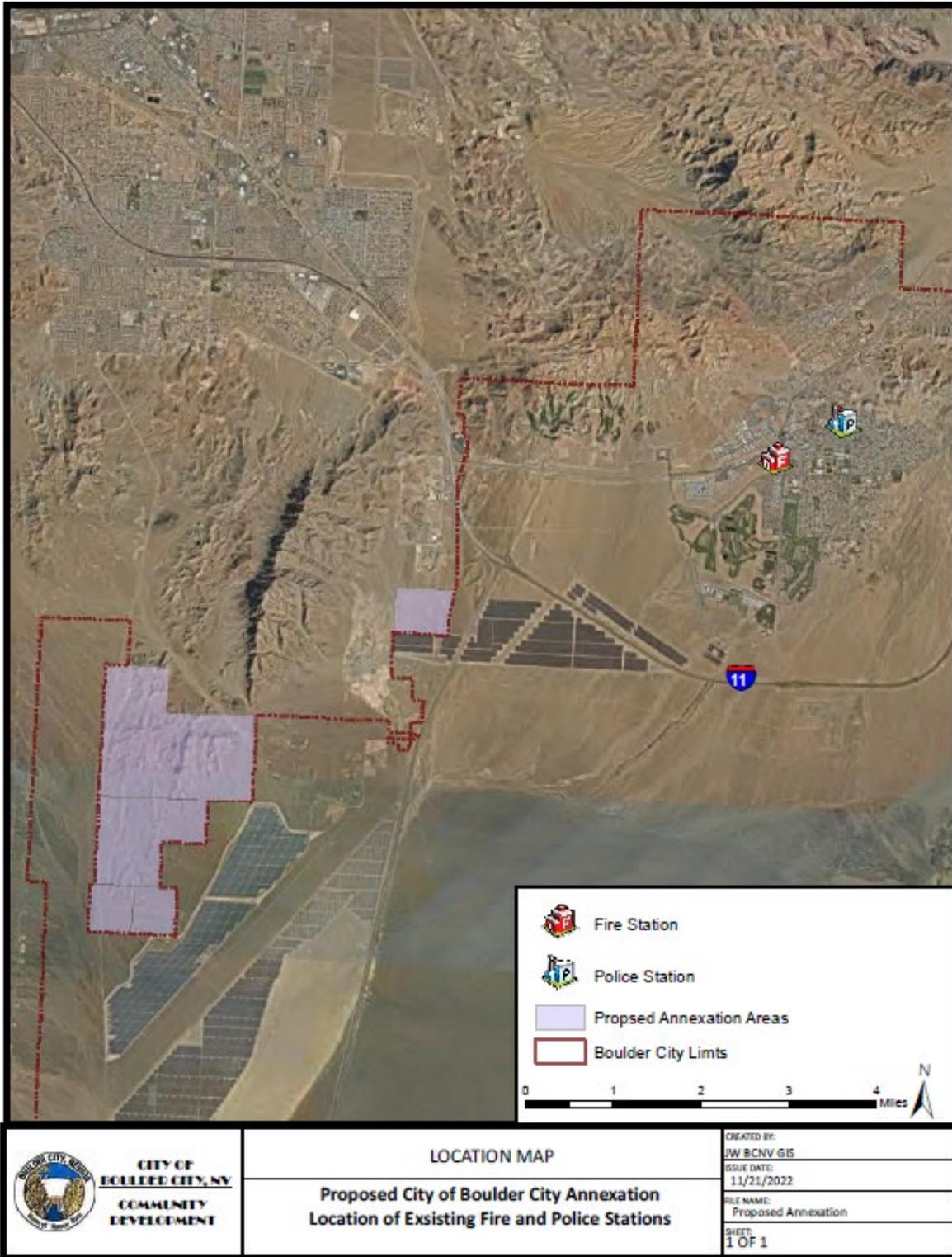


EXHIBIT F-MAP OF EXISTING AND PROPOSED GENERAL LAND USE



 <p>CITY OF BOULDER CITY, NV COMMUNITY DEVELOPMENT</p>	<p>LOCATION MAP</p>	<p>ISSUED BY: JW BCNV GIS</p>
	<p>Proposed City of Boulder City Annexation And Current Clark County Land Use</p>	<p>ISSUE DATE: 1/21/2022</p>
		<p>FILE NAME: Proposed Annexation Land Use</p>
		<p>SHEET: 1 OF 1</p>

EXHIBIT G -MAP OF EXISTING POLICE AND FIRE STATIONS



LOCATION MAP

**Proposed City of Boulder City Annexation
Location of Existing Fire and Police Stations**

CREATED BY:	JW BCNV GIS
ISSUE DATE:	11/21/2022
FILE NAME:	Proposed Annexation
SHEET:	1 OF 1

EXHIBIT H -LETTER OF NO OBJECTION FROM GOVERNMENT ENTITY

SEE FOLLOWING FIVE PAGES



United States Department of the Interior



BUREAU OF LAND MANAGEMENT
Southern Nevada District Office
Las Vegas Field Office
4701 N. Torrey Pines Drive
Las Vegas, Nevada 89130
<http://www.blm.gov/nvada>

MAR 23 2022

Taylor Tedder
City Manager
City of Boulder City
401 California Avenue
Boulder City, Nevada 89005

Mr. Tedder:

This is in response to your letter dated March 7, 2022, concerning a proposal to annex certain lands into the City of Boulder city. The proposed annexation would include portions of public lands administered by the Bureau of Land Management (BLM) located within (APN(s) 189-11-701-001, 189-14-000-001, 189-21-000-001, 189-32-000-001, 207-00-001-002, and 207-00-001-003):

Mount Diablo Meridian, Nevada

T. 23 S., R. 63 E.,

- sec. 11, lots 2, 7, 9, and 11 thru 14;
- sec. 14, lots 2, 3, 6, 7, and 9 thru 12, and W1/2;
- sec. 19, E1/2SE1/4;
- sec. 20, SW1/4;
- sec. 28, W1/2;
- sec. 29;
- sec. 30, E1/2NE1/4, and E1/2SE1/4;
- sec. 32, N/12, and SW1/4.

T. 24 S., R. 63 E.,

- sec. 5, lots 7 and 8, and S1/2NE1/4;
- sec. 6, lots 8 and 9, and S1/2NE1/4.

We have reviewed the proposed annex parcels and determined that the portions of the public lands identified are administrated by the BLM. For those parcels that are under BLM jurisdiction, we do not object to their annexation into to the City of Boulder city.

The City of Henderson has requested annexation of multiple parcels that overlap your annexation request (map enclosed). For those parcels that overlap you will need to work with the City of Henderson to resolve any jurisdictional incompatibilities.

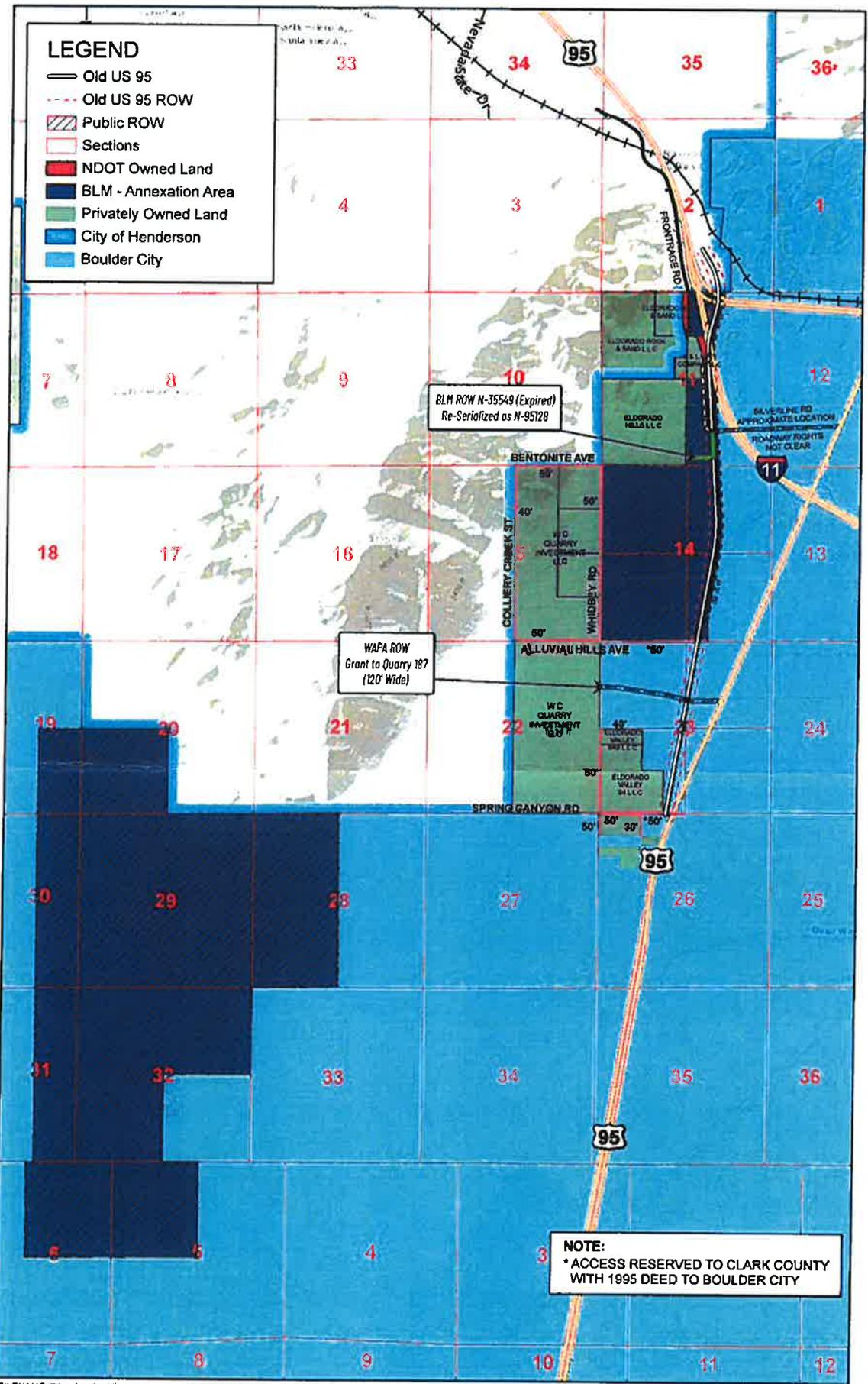
INTERIOR REGION 8 • LOWER COLORADO BASIN

ARIZONA, CALIFORNIA*, NEVADA*

* PARTIAL

LEGEND

- Old US 95
- - - Old US 95 ROW
- ▨ Public ROW
- Sections
- NDOT Owned Land
- BLM - Annexation Area
- Privately Owned Land
- City of Henderson
- Boulder City



FILENAME P:\projects\public_works\ROW\2022\ANNEXATIONS\LongAnnexation\LongAnnexation.aprx

SHEET 1 OF 1

PUBLIC WORKS - GEOSPATIAL SECTION
 240 WATER STREET | HENDERSON, NV 89015
 702-287-1300

This map is offered as a general reference guide only. Neither warranty of accuracy is intended nor should any be assumed.



**EAST ELDORADO VALLEY
 EXISTING ROADWAY RIGHTS - FEB 2022**

7/23/2022 10:40:00 AM



United States Department of the Interior



BUREAU OF LAND MANAGEMENT
Southern Nevada District Office
Las Vegas Field Office
4701 N. Torrey Pines Drive
Las Vegas, Nevada 89130
<http://www.blm.gov/nevada>

MAR 23 2022

Richard A. Derrick
City Manager, CEO
City of Henderson
240 South Water Street
P.O. Box 95050
Henderson, Nevada 89009

Mr. Derrick,

This is in response to your letter dated January 24, 2022, concerning a proposal to annex certain lands into the City of Henderson. The proposed annexation would include portions of public lands administered by the Bureau of Land Management (BLM) located within (APN(s) 189-11-501-003, 189-11-701-001, 189-14-000-001, 189-21-000-001, 189-32-000-001, 207-00-001-002, and 207-00-001-003):

Mount Diablo Meridian, Nevada

T. 23 S., R. 63 E.,

- sec. 11, lots 2, 7, 9, and 11 thru 14;
- sec. 14, lots 2, 3, 6, 7, and 9 thru 12, and W1/2;
- sec. 19, E1/2SE1/4;
- sec. 20, SW1/4;
- sec. 28, W1/2;
- sec. 29;
- sec. 30, E1/2NE1/4, and E1/2SE1/4;
- sec. 32, N/12, and SW1/4.

T. 24 S., R. 63 E.,

- sec. 5, lots 7 and 8, and S1/2NE1/4;
- sec. 6, lots 8 and 9, and S1/2NE1/4.

We have reviewed the proposed annex parcels and determined that the portions of the public lands identified are administrated by the BLM. For those parcels that are under BLM jurisdiction, we do not object to their annexation into to the City of Henderson.

INTERIOR REGION 8 • LOWER COLORADO BASIN

ARIZONA, CALIFORNIA*, NEVADA*

* PARTIAL

The City of Boulder City has requested annexation of multiple parcels that overlap your annexation request (map enclosed). For those parcels that overlap you will need to work with the City of Boulder City to resolve any jurisdictional incompatibilities.

The Federal Land Policy and Management Act of 1976 (FLPMA) directs BLM to coordinate management activities on public lands with the land use planning management activities of local governments. However, this coordination must be to the extent practical consistent with the purposes of FLPMA and with federal laws governing the administration of public lands. In the event the City of Henderson would attempt to authorize uses contrary to the management needs of the United States, the local law or ordinance would be preempted by federal law.

If you have any questions, please contact Eric Benavides, Realty Specialist, by email at ebenavides@blm.gov or by phone at (702) 515-5144.

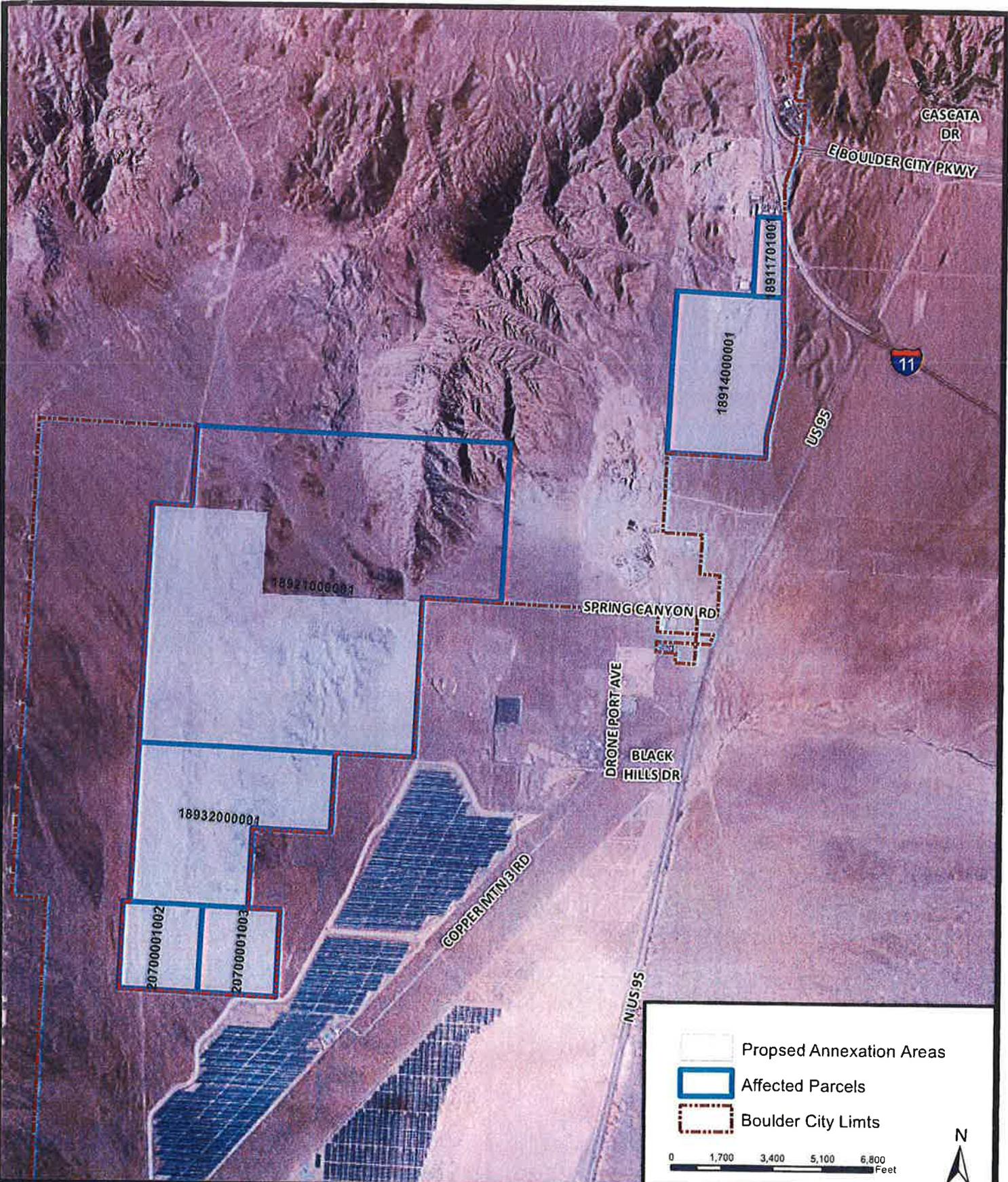
Sincerely,



Jamie Moeini
Assistant Field Manager
Division of Lands

Enclosure

cc: Taylour Tedder
City Manager
City of Boulder City
401 California Avenue
Boulder City, Nevada 89005



**CITY OF
BOULDER CITY, NV**
**COMMUNITY
DEVELOPMENT**

LOCATION MAP

**Proposed City of Boulder City Annexation
2,845.5 Acres**

CREATED BY:
JW BCNV GIS
ISSUE DATE:
01/03/2022
FILE NAME:
Proposed Annexation
SHEET:
1 OF 1