A photograph of the Historic Boulder City Water Filtration Plant, a large brick building with a prominent tower. The building is surrounded by greenery and a fence. The sky is blue with some clouds. The text is overlaid on the image.

Preliminary Report

Facility Reuse Plan

Historic
Boulder City
Water Filtration
Plant

January 31, 2006

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Background

The Boulder City Water Filtration Plant was built in 1931 as part of the water supply system from Hoover Dam to Boulder City under the Boulder Canyon Project Act. The original system under the auspices of the United States Bureau of Reclamation (USBR) included a pipeline from Hoover Dam, pumping plant, filter plant and associated storage. A supplemental water system consisting of an additional pumping plant and pipeline parallel to the old system was added in 1949.



Photo from the U.S. National Archives. Date of Photo 1932.

The Boulder City Act of 1958 (Public Law 85-900 - see appendix) provided that the water supply from Lake Mead through the USBR transmission and treatment facilities to the City-owned tanks would be operated and maintained by the Bureau of Reclamation with a maximum deliver rate of 3,560 gallons per minute, which is equivalent to 5.26 million gallons per day.

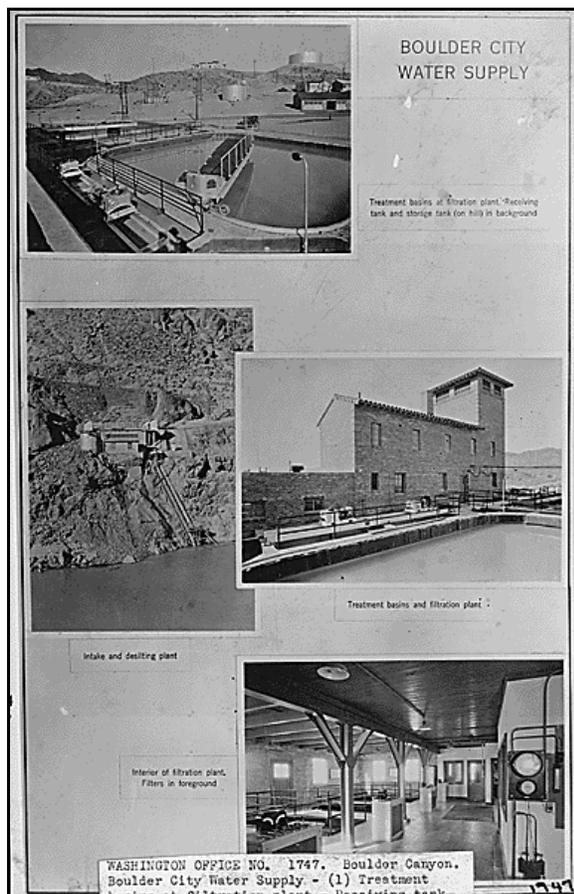


Photo from the U.S. National Archives.

Additional facilities were added in 1971 with the completion of the Southern Nevada Water Project. The Colorado River Commission of Nevada in 1963 accepted the responsibility of arranging for the construction of the Southern Nevada Water Project and the Alfred Merritt Smith Water Treatment Facility to supply a growing Southern Nevada with its future water needs.

These two systems independently supplied treated water to Boulder City with the USBR system contributing 20% and SNWP system 80% of the annual water requirement. Boulder City relies solely on water from Lake Mead since there is essentially no potential use of ground water due to high concentrations of total dissolved solids.

In the Fall of 1982, the USBR system was discontinued. This was brought about by the completion of the second stage of the Southern Nevada Water Project and an analysis of the cost per gallon of treated water. The cost differential, at least at this time, made the SNWP treated water less costly.

Upon analysis and consultation the USBR determined that further operation of the Boulder City Water Treatment and Filtration Plant to no longer be feasible. At that time, it was calculated that the aging infrastructure to repair to the minimum operational standards (replacement of damaged valves, piping and related equipment would cost \$325,000 (equivalent to \$660,000 in 2005 dollars). For this reason and others, the facility was abandoned and no longer used for water treatment.

In June of 1984, the General Services Administration declared the facility surplus property, and requested all federal agencies to declare their interest in the property. With no interest declared, the GSA negotiated with Boulder City for the transfer of the land to Boulder City ownership through the U.S. Department of Health and Human Services. The transfer included 1.92 acres of a triangular shaped parcel and two buildings. The deed reserved two parcels for a continued use easement by the U.S. Bureau of Reclamation for use as a parking lot and a weather station. The U.S. Department of Health and Human Services granted permission to occupy the property on October 16, 1984 and a deed transferring ownership to Boulder City was recorded on January 2, 1985.

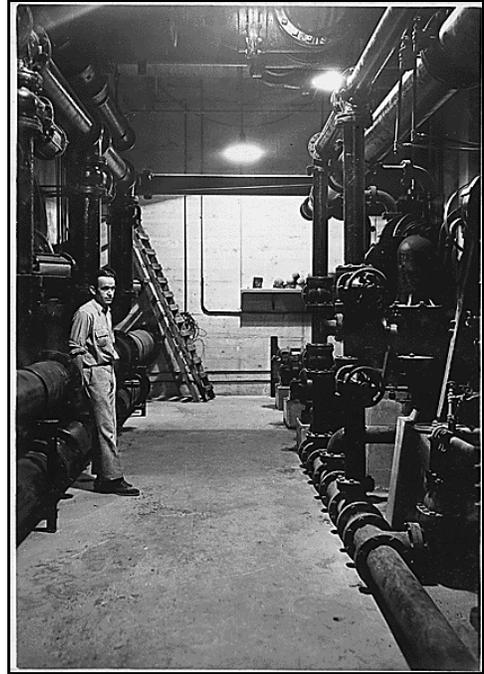


Photo from the U.S. National Archives. Date of Photo 1932.

The application for surplus federal property filed by Boulder City for the facility listed the intended use of the facility as an emergency back-up system for the overall city potable water supply. The facility had been previously mothballed by the USBRA and had not been a functioning water treatment facility for some three years prior to the deed transfer. The technology used at the time of original construction was obsolete, and could not be used (other than in the event of an actual emergency) for supplying potable water to the community.

Condition of Property at Time of Acquisition

The parcel was in poor condition at the time of acquisition by Boulder City. The grounds of the facility had not changed significantly from its original appearance at the time of construction.

The site had not been landscaped, and the on-site amenities were very limited. In addition to the original filtration plant facility, on site were also a parking lot used by USBR personnel for a facility across the street, and a weather reporting station. There also remained a railroad spur, which originally delivered the equipment and various chemicals for the operation of the



Photo from the U.S. National Archives. Date of Photo 1932.

facility.

City Actions Upon Acquisition

Since acquiring the 1.92 acre parcel, the property has been converted from a community eyesore to an oasis in the neighborhood. The parcel lies in a transition area between the original residential development of Boulder City and industrial uses operated by Boulder City and the USBR.

The City immediately entertained a request by the Boulder City Museum to temporarily use the facility for museum storage purposes. The U.S. Department of Health and Human Services Department was consulted for approval, and a temporary approval was granted with several conditions. However, upon further inspection of the facility, it was determined that the structural obstacles were too great for a feasible use of the property at that time for even limited storage of artifacts. The museum declined to exercise their temporary lease agreement, and the facility remained relatively unused, except for storage by the Water and Sewer Department of the City.



Site shortly after construction of park. Located on right-hand side of photo. Photo taken from the south of the parcel.

In 1994, the City was approached by a local arts group to construct a park at the eastern side of the parcel. The purpose of the park was to provide many benches for local citizens to sit upon and gaze at sculptures created by local artists. It was called a “Reflections Park”.



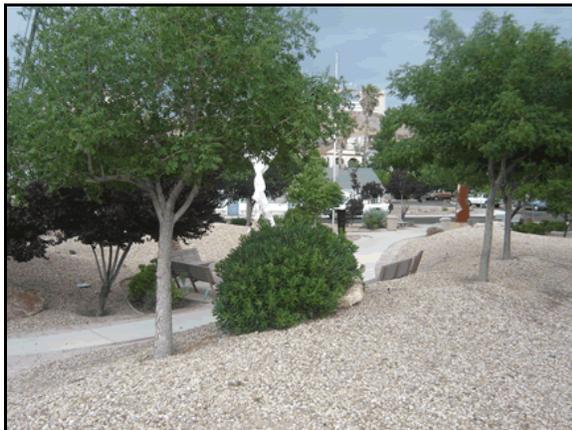
Community garden at right-hand side of photo. Note the Reflections Park on the left-hand side. Photo taken from the north of the parcel.

Subsequent to the construction of the Reflections Park, other local residents asked the City if they could construct a community garden plot upon the area recently vacated by the USBR (previously used as a weather station). The City consented, and a community garden facility was constructed.

Both facilities have matured significantly during the past 10 years. In addition to the two projects performed by local community volunteers, the City Public Works Department



landscaped the balance of the property, including the installation of additional sidewalks, trees, retaining walls, and have repaved the parking area and approaches.



Reflections Park today



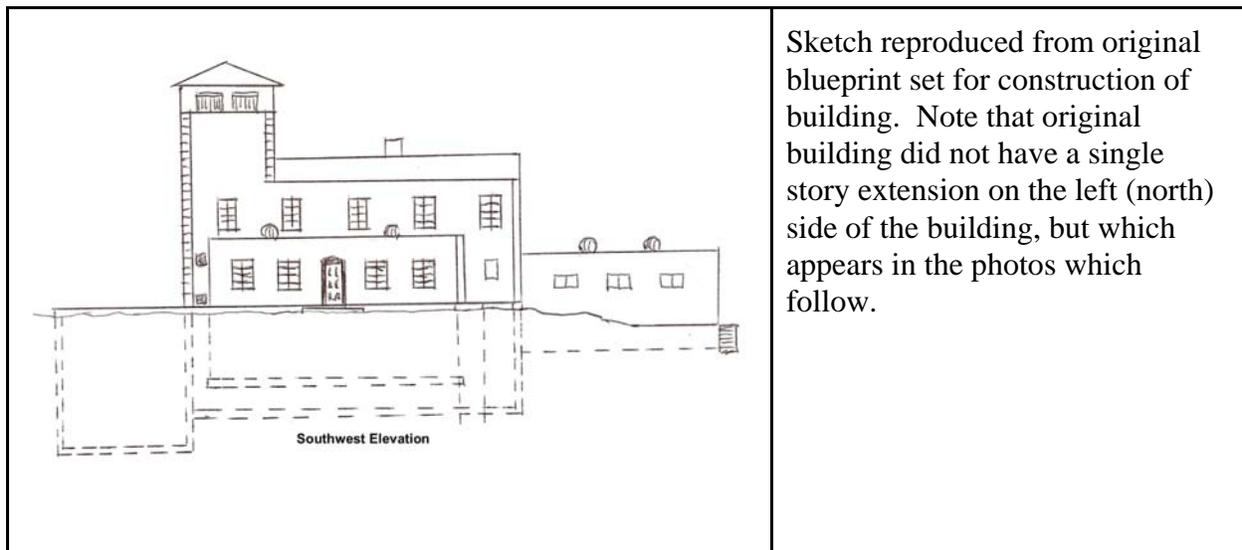
Reflections Park today

Other than the above noted improvements, the City has also filled in the two storage tanks to remove an attractive nuisance and safety hazard (seen above), and continued to use the building for the Water and Sewer Department for storage and staging. As the majority of the building is generally unusable due to the layout and previous intended use, the storage is limited to the dock area of the facility.

Existing Facility Conditions

Since the abandonment by the USBR for use of the facility as a functioning water treatment plant in 1982, other than securing the building against intruders and vandals, very little has been done to the facility. The requirements of the Clean Water Act virtually prohibit even emergency use of the facility for a public water supply. Further, at the time that USBR abandoned use of the facility, the USBR also abandoned the primary water feed to the facility, and while the pipe remains in place, its structural integrity and overall condition is unknown.

The exterior of the facility is in relatively good condition, with the exception of broken windows which have been boarded up. The brick work has weathered the past 74 years fairly well. The roof, on the other hand, has not. Primarily barrel tile, there are many sections that have broken due to weather and age. Likewise, the original roofing felt has lost the ability to resist water penetration due to the extremes in summer heat and the very low humidity levels. The 1960's addition to the building utilizes a different roofing system of tar and gravel. It has also failed, as evidenced by water penetrations seen on the interior of the building. The following photos are accurate representations of the existing building exterior.





Front of the building (viewed from the west while standing in the upper parking lot)



Front and south side of building (viewed from the driveway entrance from Railroad Avenue at the west)



The loading dock area, south side of the building. Viewed from Railroad Avenue.



Loading dock area, south side of building. It is believed that the original train track remains in place below the gravel bed. Viewed from Railroad Avenue.



Southeast corner of building. Note the stucco finish of the single story addition to the right of the main building. This addition constructed by USBR prior to the 1971 facility improvements. Viewed from Railroad Avenue.



Clarifying tanks. Currently filled with sand to minimize damage to the facility from vandals and to eliminate an attractive nuisance and hazard. Viewed from the south from Railroad Avenue



View of the clarifying tanks from the northeast from within Reflections Park.



View from the lower parking lot to the north of the building.



View from the lower parking lot to the north of the building. The portion of first story that is visible was added onto the building sometime between 1932 and 1961. Date unknown

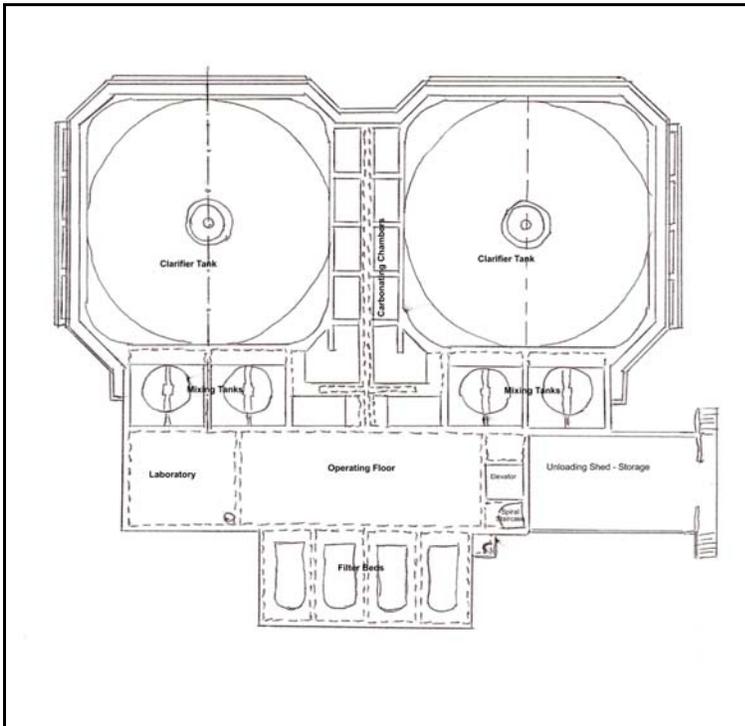


North side of building, first floor. The portion of the first floor to the right of the photo was added on to the building after 1932 but prior to 1961. The left side (different colored brick) was added on in the 1960's to enclose a mixing tank. Viewed from the northwest.



North side of the building, looking at the side and front. Note the unique open canopy - designed to look like tree branches holding up a tree canopy. Originally installed as part of the community gardens as a shade structure for a future picnic table area.

The interior of the building has not fared as well as the exterior. At the onset, the building was in poor condition upon deed transfer, as the USBR had abandoned the facility for use 2 years prior. The following photographs are representative of the actual conditions of the facility:



Sketch taken from original blue prints for the main floor plan. Note that the addition to the east side and north side do not appear on the drawing, nor does the new filterbed.



View of main floor upon entry from the front door. As viewed from inbetween the filter beds looking toward the northeast. The door to the left goes to the laboratory and the addition on the north side of the building. The black cabinet is the main electrical panel for the facility.



Taken from the opposite side of the room as from the previous photo, looking towards the filter beds and front door.



Filter bed control panel, used from 1932 through 1982 to control the flow of water and chemical mix.



Typical view of a filter bed. Depth to sand from floor is six feet. Sand depth is an additional six feet. Outlet pipe is twelve feet below the main floor level.



Main floor elevator access point.



Spiral staircase for movement to upper floor, loading dock, and basement floor. Note - only means for human movement - elevator not designed to carry passengers.



The only restroom for the entire 3-floor facility. Toilet and sink were upgraded by the City in 1985 anticipating by the Museum of the facility. Paint original to the building.



Additional filter bed to the east side of the main floor. This was added sometime between 1932 and 1961. Area was originally constructed as a mixing tank. Filter bed observed from a catwalk platform.



Platform described in previous photograph narration. Note the filtration bed control panel to the left of the stair rail.



Ceiling area of the laboratory room. Note the water damage. This is representative of other areas containing water damage in the facility. Also note - no automatic fire sprinkler system!



Loading dock/storage area. Elevator shaft to the left. Wash basin also doubles as an emergency eye wash.



Loading Dock door to main floor. Elevator used to transport the chemicals between the various floors. Elevator loads on both sides of shaft.



Better view of elevator equipment from loading dock area.



Loading dock area currently used for storage by the City Water and Sewer department. Currently stored are spare tires for the sewer maintenance vehicles. Previous storage included pipes and related system materials.



View of entire loading dock area from the loading doors. The ledge shelf that runs along the right side of the photograph is actually covering a 24 inch pipe.

Second Story



The second story was used principally for the storage of the various chemicals used to treat the water. The piping in the back of the photo services the water tank on the third level. The metal ladder attached to the wall is the only means to ascend to the third floor.



Equipment left behind by USBR when they abandoned the building. Unclear as to purpose of equipment.



Piping that runs from the basement level up to the water tank on the third floor. Each pipe is at least 24 inches in diameter, total of 4 pipes.



View of water tank from 2nd floor. Note water pipes shown in previous photograph.



Additional storage area on 2nd floor. This is to the left of the elevator shaft. Note table remaining from USBR abandonment.



Roof supports for 2nd floor barrel tile roof. Water seepage is observed for most of the roof area. Note water stains on the left side of the photograph on the one crossmember.



Spiral staircase as viewed from the 2nd floor. In good condition, but fairly narrow.

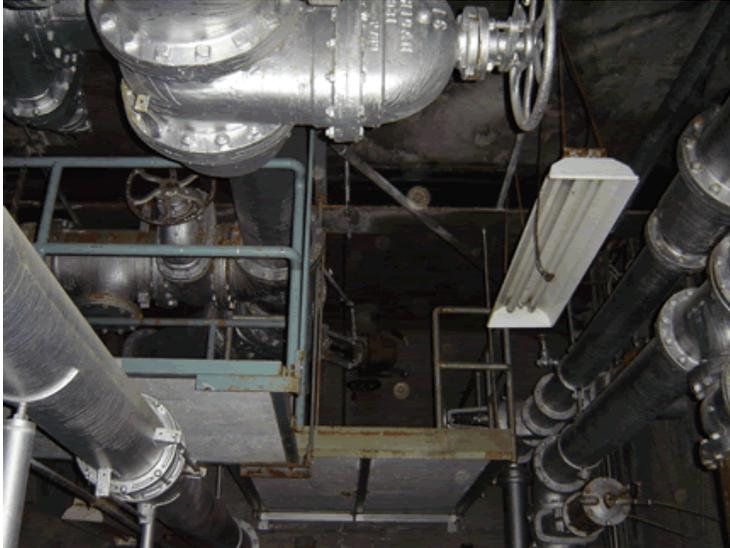
Basement Level



The basement level is a large complex of pipes. The original pumps which were also located in the basement were removed by USBR upon abandonment.



More pipes



And more pipes . . .



Sacks of a chemical left behind by USBR upon abandonment of the facility.

Deed Conditions and Compliance Status

The Deed

Upon transfer of the deed from the U.S. Department of Health and Human Services to Boulder City, several restrictions were included on the deed. They were:

- “1. That for a period of thirty (30) years from the date hereof the Property herein conveyed will be used continuously for health purposes in accordance with the proposed program and plan of the Grantee as set for in its application dated the 12th day of July, 1984. and for no other purpose.
2. That during the aforesaid period of thirty (30) years the Grantee will not resell, lease, mortgage, or encumber or otherwise dispose of any part of the Property or interest therein except as the Grantor or its successor in function may authorize in writing.
3. That one year from the date hereof and annually thereafter for the aforesaid period of thirty (30) years, unless the Grantor or its successor in function directs otherwise, the Grantee will file with the Grantor or its successor in function reports on the operation and maintenance of the Property and will furnish, as requested, such other pertinent data evidencing continuous use of the Property for the purposes specified in the above-identified application.
4. That during the aforesaid period of thirty (30) years the grantee will at all times be and remain a tax-supported organization or a nonprofit institution, organization, or association exempt from taxation under section 501(c)(3) of the Internal Revenue Code of 1954.
5. That, for the period during which the Property is used for the purpose for which the Federal assistance is hereby extended by the Grantor or for another purpose involving the provision of similar services or benefits, the Grantee hereby agrees that it will comply with the requirements of section 606 of the Act, Title VI of the Civil Rights Act of 1964 (P.L. 88-352), section 504 of the Rehabilitation Act of 1973 (P.L. 93-112), Title III of the Age Discrimination Act of 1975 (P.L. 94-135), and all requirements imposed by or pursuant to said Acts and now in effect, to the end that, in accordance with said Acts and Regulations, no person in the United States shall, on the ground of race, color, national origin, sex, age or handicap, be excluded from participation in, be denied the benefits of, or otherwise be subjected to discrimination under the program and plan referred to in condition numbered 1 above or under any other program or activity of the Grantee, its successors or assigns, to which said Acts and Regulations apply by reason of this conveyance.”¹

The deed does provide a means by which the City can request relief from the conditions enumerated above:

“The Grantee may secure abrogation of the conditions subsequent numbered 1, 2, 3, and 4 herein by:

- a. Obtaining the consent of the Grantor, or its successor in function, therefor; and
- b. Payment to the United States of American 1/360th of the percentage public benefit allowance granted of the fair market value as of the date of such requested abrogation, exclusive of the value of the improvements made by the Grantee to the extent that they add to the value of

¹ See Contract No. 09-NV-2001, Deed for Water Treatment and Filtration Plant, conveyed to Boulder City on January 2, 1985, recorded by the Clark County Recorder on February 26, 1985. Page 3 contains the conditions.

that portion of the Property to be released, for each month of the period to be abrogated.”²

Compliance Status

The following is a brief discussion on the status of compliance with the above described deed restrictions:

1. Facility to be used as described in the application for transfer.

The City had originally proposed that the facility be kept in mothballs and be available to supplement the City’s potable water supply in the event of a water emergency. That proposal pre-dated the passage of the Clean Water Act, which imposed stringent water quality and treatment conditions, of which this facility can not meet. The City has been unable to maintain compliance with this deed restriction.

2. For a period of thirty (30) years the City will not resell, lease, mortgage, or encumber or otherwise dispose of any part of the Property.

The City has not disposed of the property in any fashion. There has been some confusion on the part of the State Historic Preservation Office and the U.S. Department of Health and Human Services in this regard. Boulder City is unique from most other cities in the country, as the City is the principal land owner in a community containing 200 square miles. Because of our unique position as the majority land owner, our ordinances include a provision to better manage our land disposal process, called the “Land Management Plan”. Each year, citizens are entitled to submit any proposal that they would like to the City Council for possible consideration and inclusion in this document. The City Council is obligated to hear their request as an agenda item.

This Facility was the subject of one such application during the fall of 2004. The City Council heard the request on several occasions (as they are required to do so by City Ordinance), and then declined to include the parcel for development or disposal. Rather, the City Council did the proper thing and directed the City Administration to research the status of the building, determine the options for use, and to follow-up to the Council with a report. This report will satisfy that requirement as well as the request from HHS for an outline for future use of the facility.

3. File with the U.S. Department of Health and Human Services annual reports on the operation and maintenance of the Property.

The City has filed the required annual reports. Included within the appendix of this document are copies of the last ten (10) years of reports that have been submitted to HHS. Included in each report are the following topic areas: (1) Description of property; (2) Location of property; (3) Facility use; (4) Improvements made to the facility since transfer; (5) Explanation of deviation from the original proposed use; and (6) Other remarks.

² Ibid. Page 5 contains this exception for property disposal.

It should be noted that at least for the last ten years, that each report has made it clear that the facility will not be used again as a water treatment facility. HHS has not objected to that deviation from the original proposed use during the entire time.

4. The City will at all times be and remain a tax-supported organization or a nonprofit institution.

The City remains an official unit of municipal government in the State of Nevada, and such status will not change.

5. The City will comply with various Federal Acts as they apply to this Facility.

The City believes that it has not violated any of the relevant provisions of the stated Acts in the Deed.

Relief from Deed Restriction Clause.

While not a deed restriction per se, this section does outline the method by which the City can lift the above described deed restrictions (with the exception of Number 5). Basically, the City is required to take two actions:

1. Petition the U.S. Department of Health and Human Services to release the restrictions on the deed. HHS has indicated that our application is to include a list of proposed uses for the facility for their consideration, with a preference for a health related use indicated.

AND

2. Pay the HHS a pro-rated share of the current appraised value of the property, based upon a 360 month amortization schedule. The City has owned the facility for approximately 21 years, with approximately 9 years remaining on the deed restriction. The pro-rated amount would be approximately 108 months worth, or 30% of the current appraised value, should the City choose to request approval for the removal of the deed restrictions.

Facility Usage Restrictions

Under the terms of the Deed, the City may only use the facility for an approved health purpose. The U.S. Health and Human Services Department provided the following list of approved health related uses that could be applied to this facility:

1. Medical institutions*;
2. Hospitals*;
3. Health centers (including related laboratories, administrative offices and public health nursing programs)*;
4. Mental health centers*;
5. Clinics*;
6. Nursing homes, including long term care and convalescent facilities*;
7. Medical, dental, nursing and paramedic schools
8. Infirmaries*;
9. Diagnostic or treatment centers providing outpatient services and care*;
10. Preventative medical/health care programs*;
11. Rehabilitation centers for mentally ill or physically handicapped persons which provide an integrated medical, psychological, social evaluation and training program*;
12. Residences for physicians, nurses, paramedics, etc. in isolated areas*;
13. Pollution and pest control (related to public health);
14. Maternal and child health programs*;
15. Mental and physical hygiene training programs*;
16. Sanitary engineering and inspection;
17. Health and nutrition education*;
18. Drug and alcohol abuse rehabilitation programs*;
19. Juvenile delinquent rehabilitation, diagnostic, and evaluation programs*;
20. Communicable and chronic disease control, including immunization programs*;
21. Migrant and native American health programs*;
22. Sewage disposal systems;
23. Storm sewer systems;
24. Solid waste programs (sanitary landfills, incinerators, and recycling facilities)*;
25. Water systems (including wells, pumps, underground distribution mains, purifiers, reservoirs, water towers, and protected watershed properties);
26. Paramedic emergency treatment programs*;
27. Health administrative offices*;
28. Facilities to assist the homeless (Title V of the McKinney-Vento Homeless Assistance Act)*; and
29. Animal Control facilities*.

The facility does not lend itself, nor is easily converted, to be used by the majority of the listed pre-approved items (*marked by an asterisk*). Extensive remodeling would be required (and very likely create a violation of the Historic Preservation standards) to accommodate most uses for general occupancy. Most of the above uses would require extensive modification of the building to comply with the Americans with Disabilities Act. Further, it is fairly certain that the building has been painted with a lead-based paint, and would need to have the paint removed in compliance with EPA requirements for such occupancies.

Use of the facility for water systems, while it was the original purpose for the facility, are not feasible. Current standards for the Clean Water Act would require a complete refit of the facility, and a remodel of some of the obsolete areas. That would be in addition to a rehabilitation of the structure itself to make it water-tight, replace the electrical system to comply with current electrical codes, and other code compliance related items. Current estimates to make the building structurally sound (not including the replacement of the elevator or ADA accessibility improvements) is \$3,000,000.

Proposed Use of Facility

The facility is actually four separate development areas, all contained upon the original parcel. The City proposes the following:

The Original Weather Station Area:

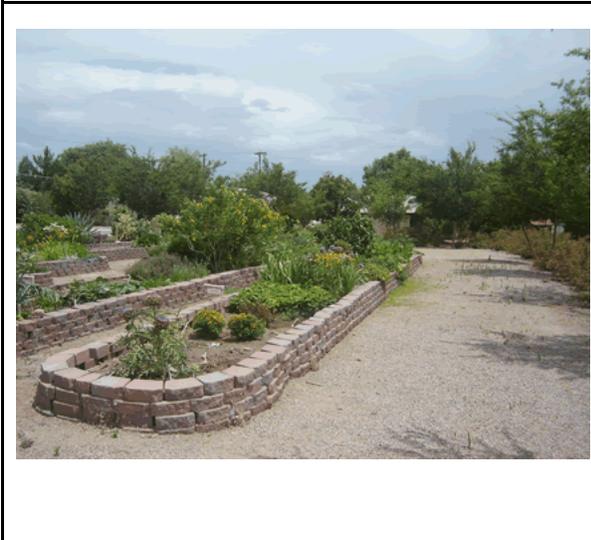
The area has been converted to use as a community garden. Local residents use this facility for growing fruits, vegetables, ornamental plants. Many residents work the garden area as physical therapy for a variety of ailments related to aging.

The area has been maintained in very good condition, and the outlying area has been landscaped fully by the City. The general landscaping is maintained by City crews (including water, weed removal, trash removal and irrigation system maintenance). The individual garden plots are cared for by local residents.



Former Weather Observation Station Location

Community Garden Area	
	



The Bureau of Reclamation Parking Area

Upon the release of the deed restriction by the Bureau of Reclamation of the parking lot area, Boulder City completed the site landscaping in the area and patched the parking lot.

The site remains in use as a parking lot for the overall parcel. It is not used at capacity.



Former USBR Parking Lot Area



Undeveloped Area East of Clarifying Tanks

Historically, this area of the site remained undeveloped for much of the operation of the facility.

In 1994, local community art groups approached the City with a desire to beautify their neighborhood and to improve the underdeveloped site into a quiet place to reflect upon nature and art. Through a collaborative effort, the site was developed as “Reflections Park” (recently renamed “Teddy Fenton Park” in honor of a local citizen who was instrumental for the development of the park area).



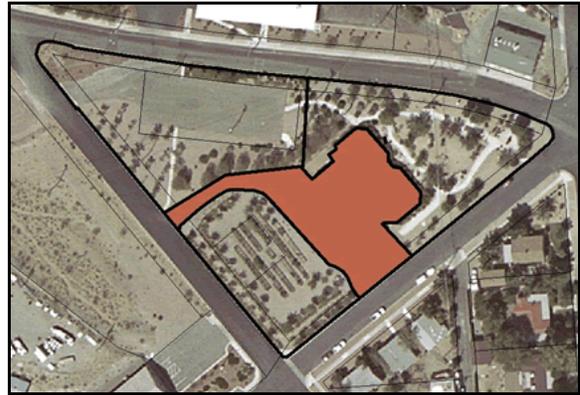
Former Undeveloped Area of Site

The site has several locally made pieces of artwork prominently displayed, and several seating areas (both shaded and in open sun) for local visitors to gaze upon the artwork. Boulder City maintains the park, including landscaping care and irrigation, and trash removal.

Reflections Park	
	
	

Water Treatment and Filtration Building Complex

The core building of the overall site is the original Water Treatment and Filtration Building. The present structure is a 4,300 square foot building with a brick and stone exterior, concrete foundation and tile roof. Appurtenant to this building are two exterior clarifier tanks, internal piping, clearwell, mixing tanks, filter beds and has a perimeter chain link fence. The property previously contained a 120 square foot temporary structure that was used for chlorine storage. That building no longer exists. There have been two building additions to the main structure. First, an enlargement of the laboratory area on the north side of the building, and the second constructed a new filtering tank, on the east side (previously occupied by the mixing tanks).



Treatment and Filtration Building Site

Proposed: Water and Sewer Operations Facility

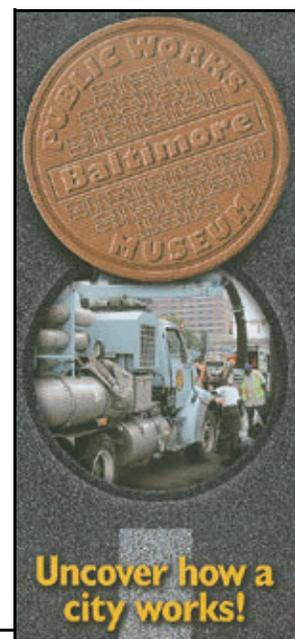
The proposed use (and current use) of the facility is as a storage facility for **Water and Sewer operations**. This requires very minimal capital expenditure to improve the building for security, and the types of materials stored are not hazardous to the community. Items such as spare tires, piping and other water/sewer facilities maintenance equipment are stored within the loading dock area of the structure. The City will continue to provide building security measures to prevent unwanted entry into the facility. Improvements will be made during FY06-07 for additional security measures for doors and windows at the facility.

Several local citizen groups have solicited the City to convert the structure for use as an Art Gallery to display the works of local artists. Conversion of the facility to such a use is cost-prohibited (\$3M estimated), and unlikely to occur without HHS approval and a sizeable grant or other cash donation to complete the necessary building repairs.

Long Term Alternative: Public Works Museum

A possible alternate use suggested by a local resident who is a retired Historic Preservation Officer has been to restore the facade of the building (including windows) to the original appearance, and to convert the facility into a museum for public works and related water treatment history. While as costly (if not more) than the conversion to an art gallery, this use is more in-line with the intended uses of a public health activity. Conversion of a facility such as this is not without precedent. The City of Baltimore, Maryland, has converted a large portion of one of their pumping stations into a public works museum. This facility, upon the Inner Harbor area, is advertised as:

“ Explore the fascinating technology behind tunnels, roads, bridges, clean water, wastewater and recycling. Learn how the Department of Public Works services shape a modern city and its environment.





Outdoor Exhibit at Entrance to Museum

Housed in a stately pumping station (circa 1911), the Baltimore Public Works Museum takes you behind the scenes to examine a city's infrastructure, upon which urban life depends.

Enjoy exhibits, video presentations, interactive computers and Streetscape - an outdoor maze of drains, conduits and pipes for kids of all ages to explore...all just steps away from the center of the world famous Inner Harbor!³

The facility has both indoor and outdoor exhibits that demonstrate how water arrives to the city, is treated, and distributed to the residents. The outdoor exhibit provides a lifesized interactive exhibit of a typical street intersection, including street lights, fire hydrants, police call box, manholes, etc, and upon the lower level, a representation of what is underground to distribute those utility services. Meant to be interactive and educational at the same time, it does include several fountains which appear to be enjoyed by both adults and children, as they are permitted to walk through the water.



Upper Level Outdoor Exhibit



Upper Level Outdoor Exhibit



Lower Level Outdoor Exhibit

³ Text taken from the City of Baltimore Public Works Museum website, URL: <http://www.ci.baltimore.md.us/government/dpw/museum/>

For the long term use of the facility, the City will apply for a grant from the Nevada Cultural Affairs Division to perform a formal study of the structure, including the structural integrity, needed repairs to restore the outside facade to the 1932 appearance, and potential for use of the facility as a public works museum or a water and sewer department facility.

Summary

While the facility has aged relative well in terms of exterior appearance, the technology within the structure is not compatible with current laws related to the treatment of water for drinking. The City will approach the re-use of the facility in a multi-faceted manner, with several development zones of the parcel to maximize community benefit and at the same time retain the architectural integrity of the facility. The two community parks provide space to practice garden skills or to relax and contemplate nature and art. Continued use of the facility for water and sewer maintenance activities is consistent with the list of approved uses as provided by the U.S. Department of Health and Human Services. Potential future use of the facility as a museum for public works has merit and will be studied further.

Appendix

Appendix A: Copy of Deed

Appendix B: Copy of original plans for the construction of the facility
(reduced down to 8.5" x 11")

Appendix C: Facility Usage Reports - 1995 to 2005