

CONTEXTUAL DESIGN GUIDELINES FOR NON-CONTRIBUTING PROPERTIES CONSTRUCTED WITHIN THE PERIOD OF SIGNIFICANCE (1931–1945)

The Boulder City Historic District (District) is made up of both contributing and non-contributing properties. Contributing properties were constructed between 1931 and 1945 and continue to add to the historic integrity or architectural qualities that define, or are directly associated with, the significance of the District because the property has not had major alterations and/or additions.

Non-contributing properties are those that were either constructed within the District's established Period of Significance (1931–1945) and have been relocated or altered to the point where they can no longer contribute to the significance of the District; or were constructed after the Period of Significance and do not share the historic associations of the District. The Contextual Design Guidelines on the following pages apply to non-contributing properties constructed within the Period of Significance.

Examples of alterations that might render a property constructed between 1931–1945 as non-contributing include, but are not limited to, removal and replacement of original windows; relocation of front doors; additions visible from the street that significantly alter the building's shape, height, and/or massing; changes to roof materials, lines, and shape; and removal and replacement of original siding. Typically, one single alteration will not render a property as non-contributing unless it is considered a significant alteration. It is also important to note that contributing status is not determined by the condition of a property.

Designated historic districts are significant as a collective whole and must be protected in their entirety. Therefore, additions and alterations to non-contributing properties are evaluated based on the proposed work's compatibility with the District's historic architectural and urban context. This approach focuses on a broad, contextual, or "experiential" level rather than literally copying the features of adjacent contributing historic buildings. Often the larger design aspects of the project—placement, orientation, scale, mass, rhythm, and form—carry more importance than the more specific design aspects. Generally speaking, remaining historic materials shouldn't be damaged by new construction/alterations; new work should be differentiated from the old; and work should not adversely affect the character-defining features of the overall historic district and the property itself.

The following Contextual Design Guidelines for Non-Contributing Properties Constructed Within the Period of Significance (1931–1945) are adopted from the Secretary of the Interior's Standards for Rehabilitation and New Construction within the Boundaries of Historic Properties, published by the National Park Service, to fit the needs of the Boulder City Historic District.

The City of Boulder City strongly encourages contacting the Community Development Department prior to finalizing a design for a project on a historic property, whether it is considered contributing or non-contributing. A representative of the Department is available to meet with the property owner or owner's representative to review proposed designs and can assist the applicant with meeting the City's compliance goals and objectives.



1. Related “new construction,” defined in this document as **additions, alterations¹, accessory buildings, and some hardscape elements such as walls, pathways, driveways, and walkways**, should not alter the remaining historic character of the property, and must not alter the remaining historic character of adjacent contributing buildings, the street, and/or the District. A property’s historic function should be evident even if there is a change of use.
2. New construction must also be distinct from the old and must not attempt to replicate historic buildings and/or features elsewhere on the property and within the District to avoid creating a false sense of history.
3. Deteriorated historic features are encouraged to be repaired rather than replaced. A property’s historic function should be evident even if there is a change of use.
4. The location of new construction must be considered carefully. Additions must maintain the historic setbacks along the street in which the property is located and must not block primary elevations of the individual property and/or adjacent contributing buildings. New construction must be placed away from or at the side or rear of historic buildings to minimize or eliminate visual access of the new construction from the street, and must avoid obscuring, damaging, or destroying any remaining character-defining features of the individual property, adjacent contributing properties, streetscape, and District.
5. Protecting the historic setting and context of a property and the District must always be considered when planning new construction. This includes the formal or informal arrangements of buildings on a site. For example, a historic building or buildings traditionally surrounded by open space must not be crowded with dense development or large additions that impact the relationship between buildings or increase density on a parcel such that it is no longer compatible with the surrounding historic parcels.
6. The massing, size, scale, setback, orientation, and architectural features of new construction on a historic property must be compatible with those of the historic building itself and any adjacent contributing properties within the District. Maximizing the advantage of existing site conditions, such as landscaped areas or drops in grade, that limit visibility of new construction is highly recommended. Property owners are encouraged to take note of adjacent streetscape and hardscape features of any adjacent contributing properties, such as those listed above, to ensure compatibility. For examples of typical residential and commercial streetscape elements, please see the graphics below.
7. The limitations on the size, scale, and design of additions/new construction may be less critical the farther it is located from contributing historic buildings within the district.

¹ Per the City of Boulder City Code of Ordinances (11-27-3), an alteration is defined as: “Any construction, addition, replacement, erection [such as an accessory structure], or change of the exterior features of a historic property, including related demolition.” Ordinary maintenance is excluded.

Please see pages below for helpful illustrations pertaining to the guidelines. The guidelines apply to both commercial and residential properties.





Figure 1

1.1 Additions to historic buildings should be constructed onto the rear of, and should not be taller than, the historic building. Ideally, the addition would not be visible from the street, or would be set back substantially so as not to visually “overtake” the historic building.

1.2 When planning hardscape improvements for the property, such as pathways, driveways, or walls, note streetscape details such as adjacent building setbacks, the placement and materials of pathways connecting homes to the street, locations of driveways (if present), and stone walls paralleling the right-of-way for properties on steep slopes.

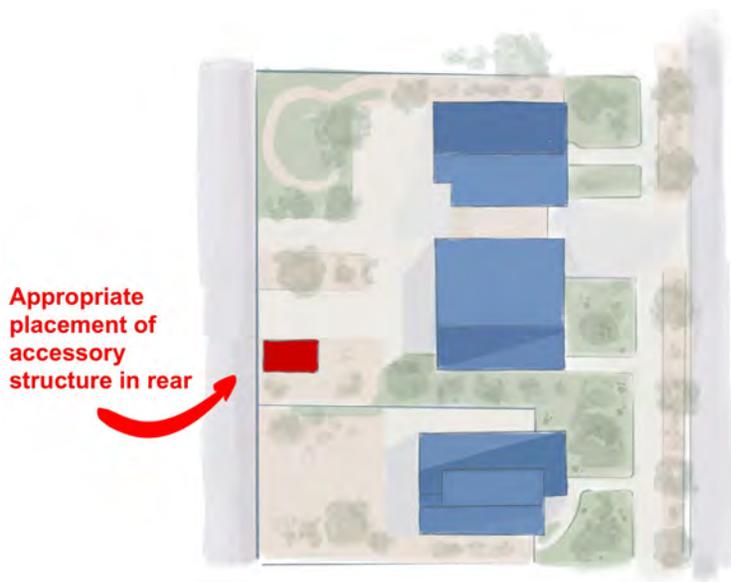


Figure 2

2 Accessory structures should be located at the rear of properties and should not be taller than the primary building or adjacent contributing buildings. If visible from an adjacent front or side street, the accessory structure should be constructed in materials similar or compatible to the original building and should have a similar or compatible roofline and massing.





Figure 3

3 Any new construction should not raise the subject building height beyond neighboring historic buildings. Second story additions to residential buildings are discouraged; however, if necessary, the second story should be constructed toward the rear of the home to reduce the visual impact and maintain a single-story frontage on the street.

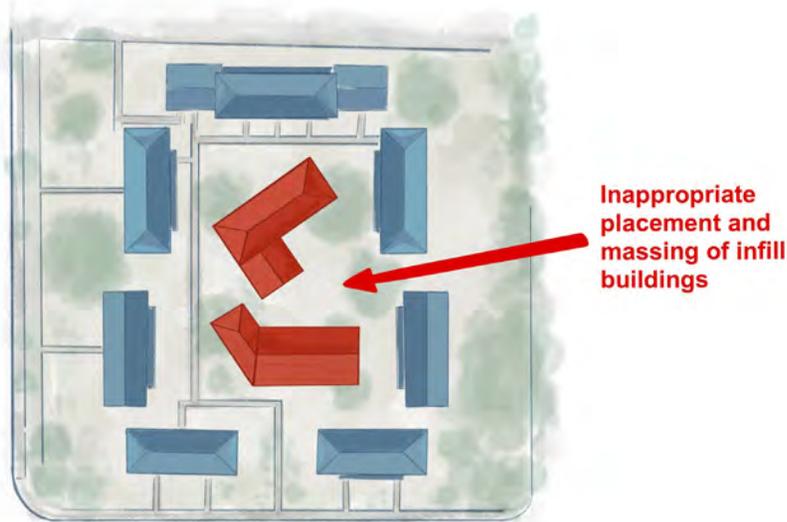


Figure 4

4 New construction, including accessory structures, on historic properties with multiple buildings should not crowd the historic buildings and should respect the historic setting and context of the property, including the formal or informal arrangements of buildings and hardscape elements on a site such as pathways, driveways, and walls.



Figure 5

5 Additions and/or alterations should be compatible with the massing, size, scale, setback, orientation, and architectural features of the historic building itself and adjacent contributing properties within the District. In Figure 5, the use of brick veneer and modern sliding windows, and enclosing the screen porch, is not compatible to the historic building itself, the adjacent contributing properties, and the district.





Figure 6

6.1 Maintain sidewalk canopy and parapet wall or other architectural elements that make up the streetscape where the project building is located. Consideration should be given to locating new off-street parking facilities in rear of property.

6.2 New commercial construction or remodeled storefronts should maintain a consistent setback with storefronts of adjacent properties. Storefronts should face the street (or primary pedestrian pathway if the individual store does not face a street) and display windows should be transparent to attract pedestrians.

CONTEXTUAL DESIGN GUIDELINES FOR NON-CONTRIBUTING PROPERTIES CONSTRUCTED AFTER 1945

The Boulder City Historic District is made up of both contributing and non-contributing properties. Contributing properties and associated features are those that add to the historic integrity or architectural qualities that define, or are directly associated with, the significance of the District because they have not had major alterations and/or additions.

Non-contributing properties are those that were either constructed within the District's established Period of Significance (1931–1945) and have been relocated or altered to the point where they can no longer contribute to the significance of the District; or were constructed after the Period of Significance and do not share the historic associations of the District. The Contextual Design Guidelines on the following pages apply to non-contributing properties constructed after the Period of Significance.

Designated historic districts are significant as a collective whole and must be protected in their entirety. Therefore, additions and alterations to non-contributing properties are evaluated based on the proposed work's compatibility with the District's historic architectural and urban context. This approach focuses on a broad, contextual, or "experiential" level rather than literally copying the features of adjacent contributing historic buildings. Often the larger design aspects of the project—placement, orientation, scale, mass, rhythm, and form—carry more importance than the more specific design aspects. Generally speaking, remaining historic materials shouldn't be damaged by new construction/alterations; new work should be differentiated from the old; and work should not adversely affect the character-defining features of the overall historic district and the property itself. It is important to remember that properties over 50 years old are considered historic, even if they do not individually contribute to the significance of the District. Therefore, remaining historic elements are encouraged to be preserved as is practicable.

The following Contextual Design Guidelines for Non-Contributing Properties Constructed After the Period of Significance are adopted from the *Secretary of the Interior's Standards for Rehabilitation and New Construction within the Boundaries of Historic Properties*, published by the National Park Service, to fit the needs of the Boulder City Historic District.

The City of Boulder City strongly encourages contacting the Department of Community Development prior to finalizing a design for a project on a historic property, whether it is considered contributing or non-contributing. A representative of the Department is available to meet with the property owner or owner's representative to review proposed designs and can assist the applicant with meeting the City's compliance goals and objectives.



1. Related “new construction,” defined in this document as **additions, alterations,¹ accessory buildings, and some hardscape elements such as walls, pathways, driveways, and walkways**, should not alter the remaining historic character of the property, and must not alter the remaining historic character of adjacent contributing buildings, the street, and/or the District. A property’s historic function should be evident even if there is a change of use.
2. New construction must also be distinct from the old and must not attempt to replicate historic buildings and/or features elsewhere on the property and within the District to avoid creating a false sense of history.
3. Deteriorated historic features are encouraged to be repaired rather than replaced. A property’s historic function should be evident even if there is a change of use.
4. The location of new construction must be considered carefully. Additions must maintain the historic setbacks along the street in which the property is located and must not block primary elevations of the individual property and/or adjacent contributing buildings. New construction must be placed away from or at the side or rear of historic buildings to minimize or eliminate visual access of the new construction from the street, and must avoid obscuring, damaging, or destroying any remaining character-defining features of the individual property, adjacent contributing properties, streetscape, and District.
5. Protecting the historic setting and context of a property and the District must always be considered when planning new construction. This includes the formal or informal arrangements of buildings on a site. For example, a historic building or buildings traditionally surrounded by open space must not be crowded with dense development or large additions that impact the relationship between buildings or increase density on a parcel such that it is no longer compatible with the surrounding historic parcels.
6. The massing, size, scale, setback, orientation, and architectural features of new construction on a historic property must be compatible with those of the historic building itself and any adjacent contributing properties within the District. Maximizing the advantage of existing site conditions, such as landscaped areas or drops in grade, that limit visibility of new construction is highly recommended. Property owners are encouraged to take note of adjacent streetscape and hardscape features of any adjacent contributing properties, such as those listed above, to ensure compatibility. For examples of typical residential and commercial streetscape elements, please see the graphics below.
7. The limitations on the size, scale, and design of additions/new construction may be less critical the farther it is located from contributing historic buildings within the district.

¹ Per the City of Boulder City Code of Ordinances (11-27-3), an alteration is defined as: “Any construction, addition, replacement, erection [such as an accessory structure], or change of the exterior features of a historic property, including related demolition.” Ordinary maintenance is excluded.

Please see pages below for helpful illustrations pertaining to the guidelines. The guidelines apply to both commercial and residential properties.



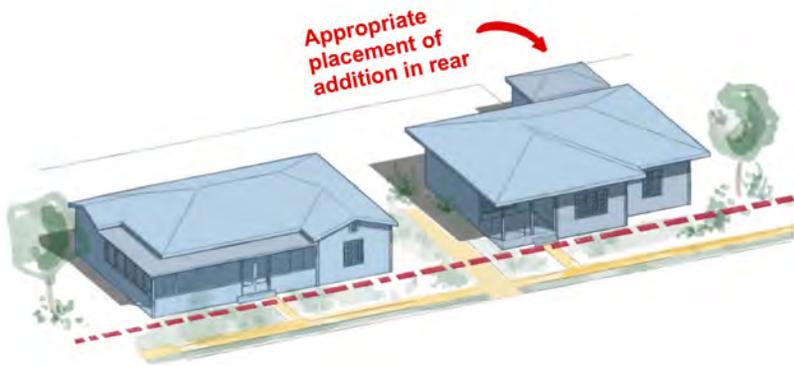


Figure 1

1.1 Additions to historic buildings should be constructed onto the rear of, and should not be taller than, the historic building. Ideally, the addition would not be visible from the street, or would be set back substantially so as not to visually “overtake” the historic building.

1.2 When planning hardscape improvements for the property, such as pathways, driveways, or walls, note streetscape details such as adjacent building setbacks, the placement and materials of pathways connecting homes to the street, locations of driveways (if present), and stone walls paralleling the right-of-way for properties on steep slopes.

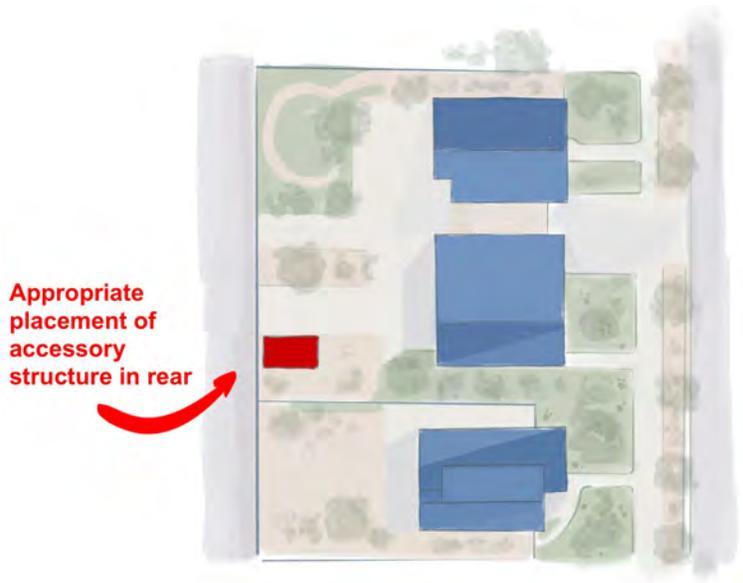


Figure 2

2 Accessory structures should be located at the rear of properties and should not be taller than the primary building or adjacent contributing buildings. If visible from an adjacent front or side street, the accessory structure should be constructed in materials similar or compatible to the original building and should have a similar or compatible roofline and massing.





Figure 3

3 Any new construction should not raise the subject building height beyond neighboring historic buildings. Second story additions to residential buildings are discouraged; however, if necessary, the second story should be constructed toward the rear of the home to reduce the visual impact and maintain a single-story frontage on the street.

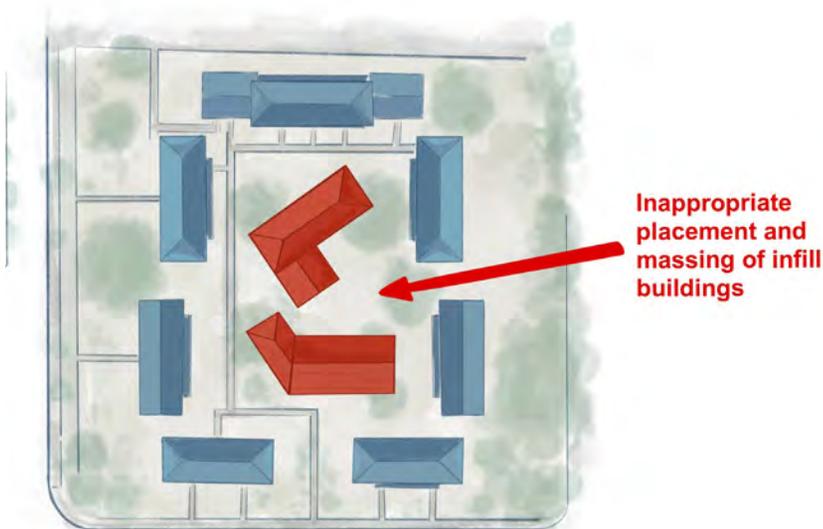


Figure 4

4 New construction, including accessory structures, on properties with multiple buildings should not crowd historic buildings and should respect the historic setting and context of the property, including the formal or informal arrangements of buildings and hardscape elements on a site such as pathways and driveways.



Figure 5

5 Alterations and additions should be compatible with the massing, size, scale, setback, orientation, and architectural features of the historic building itself and adjacent contributing properties within the District. In Figure 5, the use of brick veneer and modern sliding windows, and enclosing the screen porch, is not compatible to the historic building itself, the adjacent contributing properties, and the district.

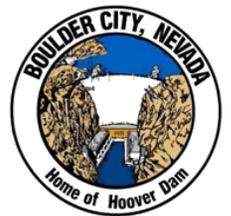




Figure 6

6.1 Maintain sidewalk canopy and parapet wall or other architectural elements that make up the streetscape where the project building is located. Consideration should be given to locating new off-street parking facilities in rear of property.

6.2 New commercial construction or remodeled storefronts should maintain a consistent setback with storefronts of adjacent properties. Storefronts should face the street (or primary pedestrian pathway if the individual store does not face a street) and display windows should be transparent to attract pedestrians.



CONTEXTUAL DESIGN GUIDELINES FOR NEW INFILL CONSTRUCTION

Within the context of the Boulder City Historic District, new infill construction is defined as **new, ground up, residential, commercial, institutional, and/or public building construction either located on an existing developed lot or on a vacant parcel within the District. Accessory structures may also be considered infill in some cases.** For additions to existing historic buildings within the District, including new construction of accessory buildings on historic properties, please see Contextual Design Guidelines for Non-Contributing Properties Constructed Within the Period of Significance, and Contextual Design Guidelines for Non-Contributing Properties Constructed after 1945.

Designated historic districts are significant as a collective whole and must be protected in their entirety. Preservation does not mean that the District must be frozen in time; however, when new infill construction occurs, it should be in a manner that relates to and strengthens the character defining features of the District without strictly imitating or replicating those features. New construction should be contextual, meaning, it should relate to the fundamental characteristics of the existing contributing historic resources on a block including streetscape features such as driveways and sidewalks, and also be clearly discernible as “new,” reflecting contemporary technology, building materials, and design ideas. Compatible new infill construction is achieved through careful analysis of the adjacent siting of historic buildings on individual lots, and the manners in which the buildings relate to the street, including the basic massing, form, entrance sequences, and materials. Simplicity and modesty in design are encouraged.

The Boulder City Historic District is made up of both contributing and non-contributing properties. Contributing properties and associated features are those that add to the historic integrity or architectural qualities that define, or are directly associated with, the significance of the District because they have not had major alterations and/or additions. Non-contributing properties are those that were either constructed within the District’s established Period of Significance (1931–1945) and have been relocated or altered to the point where they can no longer contribute to the significance of the District; or were constructed outside of the Period of Significance and do not share the historic associations of the District. When designing a new building within the district, it is important to know whether the adjacent buildings are contributing or non-contributing to avoid using non-contributing features for inspiration in the new design. The contributing and non-contributing status of adjacent buildings can be determined using the interactive District map by clicking on neighboring properties.

The Contextual Design Guidelines on the following page apply to new infill construction only and are adopted from the *Secretary of the Interior’s Standards for Rehabilitation and New Construction within the Boundaries of Historic Properties*, published by the National Park Service, to fit the needs of the Boulder City Historic District.

The City of Boulder City strongly encourages contacting the Department of Community Development prior to finalizing a design for a project on property within the historic district. A representative of the Department is available to meet with the property owner or owner’s representative to review proposed designs and can assist the applicant with meeting the City’s compliance goals and objectives.



1. Contributing buildings and non-contributing buildings constructed within the Period of Significance (1931 – 1945) should not be demolished to create infill opportunities.
2. New infill construction should not attempt to replicate historic buildings or features elsewhere on the parcel and/or within the District to avoid creating a false sense of history. Rather, new infill construction is encouraged to incorporate contemporary design elements, patterning, texture, and materials that reflect the aesthetic and historic themes of the district without strictly copying these elements.
3. New infill construction must avoid obscuring, damaging, or destroying historic features of adjacent contributing properties, the streetscape, and the District as a whole. When visible and in close proximity to contributing historic buildings, the new infill construction should be subordinate to these buildings. New infill construction must maintain the historic setbacks along the street along which the property is located to avoid blocking primary elevations¹ of adjacent contributing buildings.
4. Protecting the historic setting and context of adjacent contributing properties and the District as a whole must always be considered when planning new infill construction on a property within the District. Adjacent building types (residential, commercial, etc.), overall density² of the block, and historic streetscape elements (landscape strip between curb and sidewalk, narrow concrete path connecting a residential property to the sidewalk, locations of driveways, etc.), should be carefully observed. For examples of typical residential and commercial streetscape elements, please see the graphics below.
5. The limitations on the size, scale, and design of additions/new construction may be less critical the farther it is located from contributing historic buildings. Existing site conditions, such as landscaped areas or drops in grade, can be maximized to reduce the visible impact of new infill construction on the District.
6. Historic viewsheds of, for example, prominent landscape features and/or significant buildings or structures, should also be considered.
7. Significant archaeological resources should be taken into account when evaluating the placement of new construction. It may be appropriate to plan for mitigation measures in the event that archaeological resources are discovered during construction.

¹ In this document, “primary elevation” refers to what is generally considered the front elevation of any building or structure. Typically, this will be the elevation that faces the street upon which the building or structure is located.

² In this document, “density” refers to the average building height, setback, and number of buildings or structures per similar lot. For new infill construction involving multiple buildings on one or more adjacent parcels, this would include the formal or informal arrangements between the buildings.

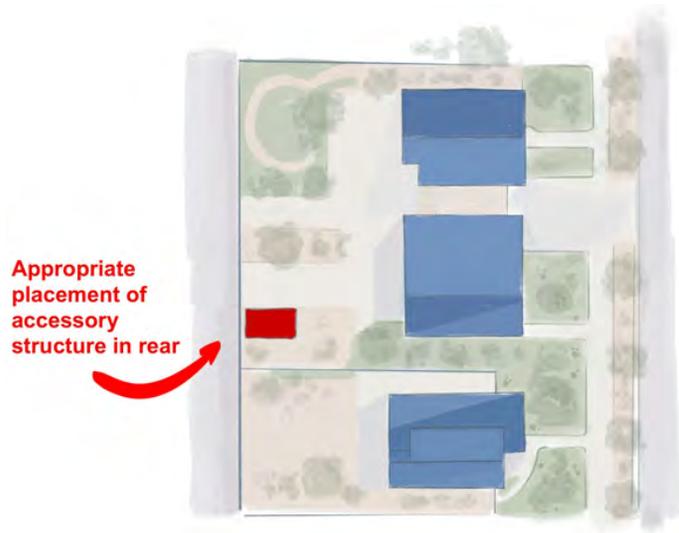
Please see pages below for helpful illustrations pertaining to the guidelines. The guidelines apply to both commercial and residential properties.





Figure 1

1 New construction should maintain consistent setbacks from street and side property lines to be compatible with the historic streetscape and adjacent historic lot coverage. When designing hardscape improvements for the property, such as pathways, driveways, or walls, note streetscape details such as adjacent building setbacks, the placement and materials of pathways connecting homes to the street, locations of driveways (if present), and stone walls paralleling the right-of-way for properties on steep slopes.



2 Accessory structures should be located at the rear of properties, not visible from an adjacent front or side street. If visible from the street, the accessory structure should be constructed in materials similar or compatible to the original building and should have a similar or compatible roofline and massing.

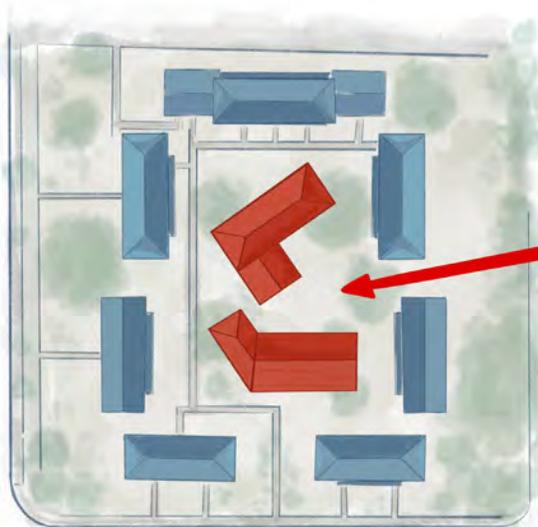
Figure 2



3 New construction, including accessory structures, should not be taller than adjacent contributing historic buildings.

Figure 3





Inappropriate placement and massing of infill buildings

4 New construction, including accessory structures, on historic properties with multiple buildings should not crowd the historic buildings. New buildings should respect the historic setting and context of the property, including the formal or informal arrangements of buildings and hardscape elements on a site such as pathways and driveways.

Figure 4



Contributing property

Incompatible infill property

5 New construction should be compatible with the massing, size, scale, setback, orientation, and architectural features of the adjacent contributing properties within the District. In Figure 5, the attached garage facing the street, the hipped roof shape, and modern window type, are not compatible to the adjacent contributing properties and the District.

Figure 5



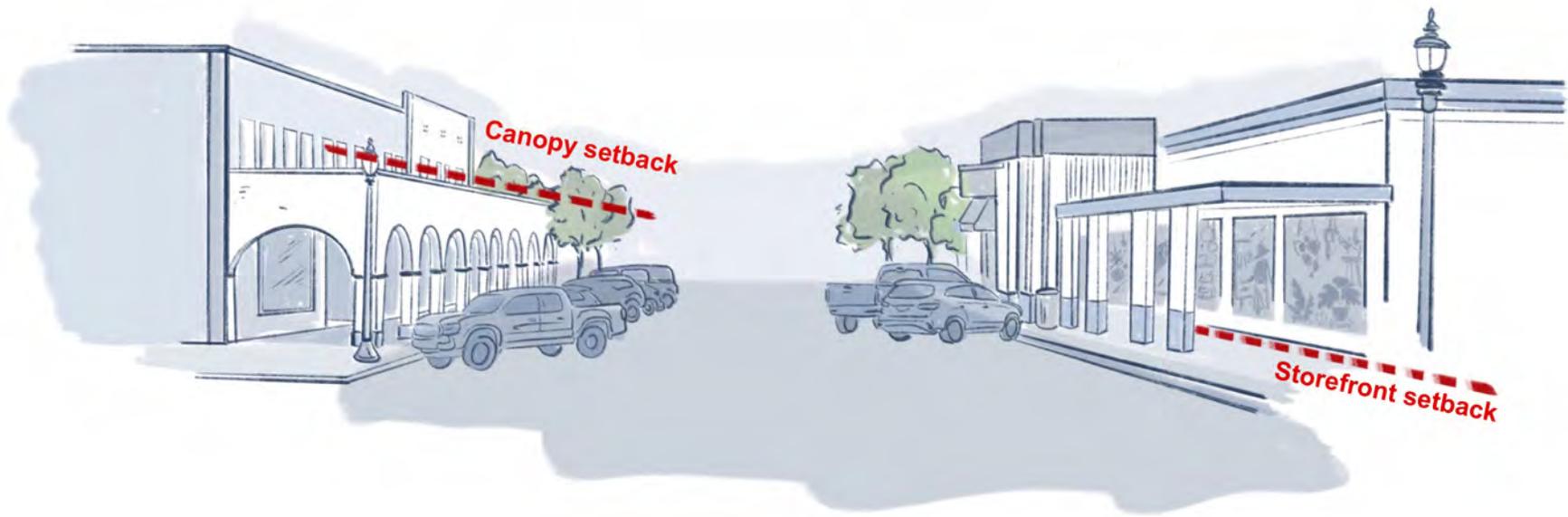


Figure 6

6.1 New commercial construction should include a sidewalk canopy and parapet wall or other architectural elements that make up the streetscape where the project building is located. Canopy setback should be consistent with adjacent properties. Consideration should be given to locating new off-street parking facilities in rear of property.

6.2 Commercial facades for new construction should maintain a consistent setback with storefronts of adjacent properties. Storefronts should face the street (or primary pedestrian pathway if the individual store does not face a street). Display windows should be transparent to attract pedestrians.



DESIGN GUIDELINES FOR CONTRIBUTING PROPERTIES CONSTRUCTED IN THE NEW TRADITIONAL: TUDOR FOLK STYLE

The Boulder City Historic District is made up of both contributing and non-contributing properties. Contributing properties were constructed between 1931 and 1945 and continue to add to the historic integrity or architectural qualities that define, or are directly associated with, the significance of the District because the property has not had major alterations and/or additions. These Design Guidelines are specifically for contributing properties that exhibit the New Traditional: Tudor Style.

Designated historic districts are significant as a collective whole and must be protected in their entirety. Therefore, additions and alterations to contributing properties are evaluated based on the proposed work's compatibility with the contributing property itself, as well as the District's historic architectural and urban context. Generally speaking, remaining historic materials should not be damaged by new construction/alterations; new work should be differentiated from the old; and work should not adversely affect the character-defining features of the contributing property and/or the overall District.

NEW TRADITIONAL: TUDOR FOLK STYLE DESCRIPTION

New Traditional is a term used to describe buildings constructed after c. 1935 in historical styles, such as Victorian and Classical, as a move away from the austerity of Modernism. The Tudor subtype of New Traditional style exhibits characteristics of the Tudor style that was popular during the Eclectic Movement in American architecture (1880 through the 1940s). The Tudor style was loosely based on English residential architecture during the late Medieval and early Renaissance periods. In the District, the only recorded example of this style is the St. Christopher's Episcopal Church, located at 812 Arizona Street. The church exhibits typical characteristics of this style, including a steeply pitched front gable roof; tall, narrow windows; simple round arched doorway; and decorative half timbering.

The City of Boulder City strongly encourages contacting the Community Development Department prior to finalizing a design for a project on a historic property, whether it is considered contributing or non-contributing. A representative of the Department is available to meet with the property owner or owner's representative to review proposed designs and can assist the applicant with meeting the City's compliance goals and objectives.



NEW TRADITIONAL: TUDOR STYLE

CONTRIBUTING NEW TRADITIONAL TUDOR STYLE PROPERTIES WITHIN THE BOULDER CITY HISTORIC DISTRICT

STREET	BUILDER OR TYPE	STREET NUMBER
Arizona Street	Private Builder	812

NEW TRADITIONAL: TUDOR STYLE CHARACTER DEFINING FEATURES

The list and image below include character defining features of the St. Christopher's Episcopal Church, the only recorded example of the New Traditional: Tudor style in the District:

Massing: One story with basement and attic; T-shaped plan oriented diagonally on the lot

Roof: Steeply-pitched gable roof; moderate eave overhang with plain wood fascia at gable end

Façade: Symmetrical with main entrance facing the street; main floor is raised and entrance is accessed via concrete steps

Walls: Brick on lower level; stucco on upper levels; decorative half timbering on upper portion of front façade

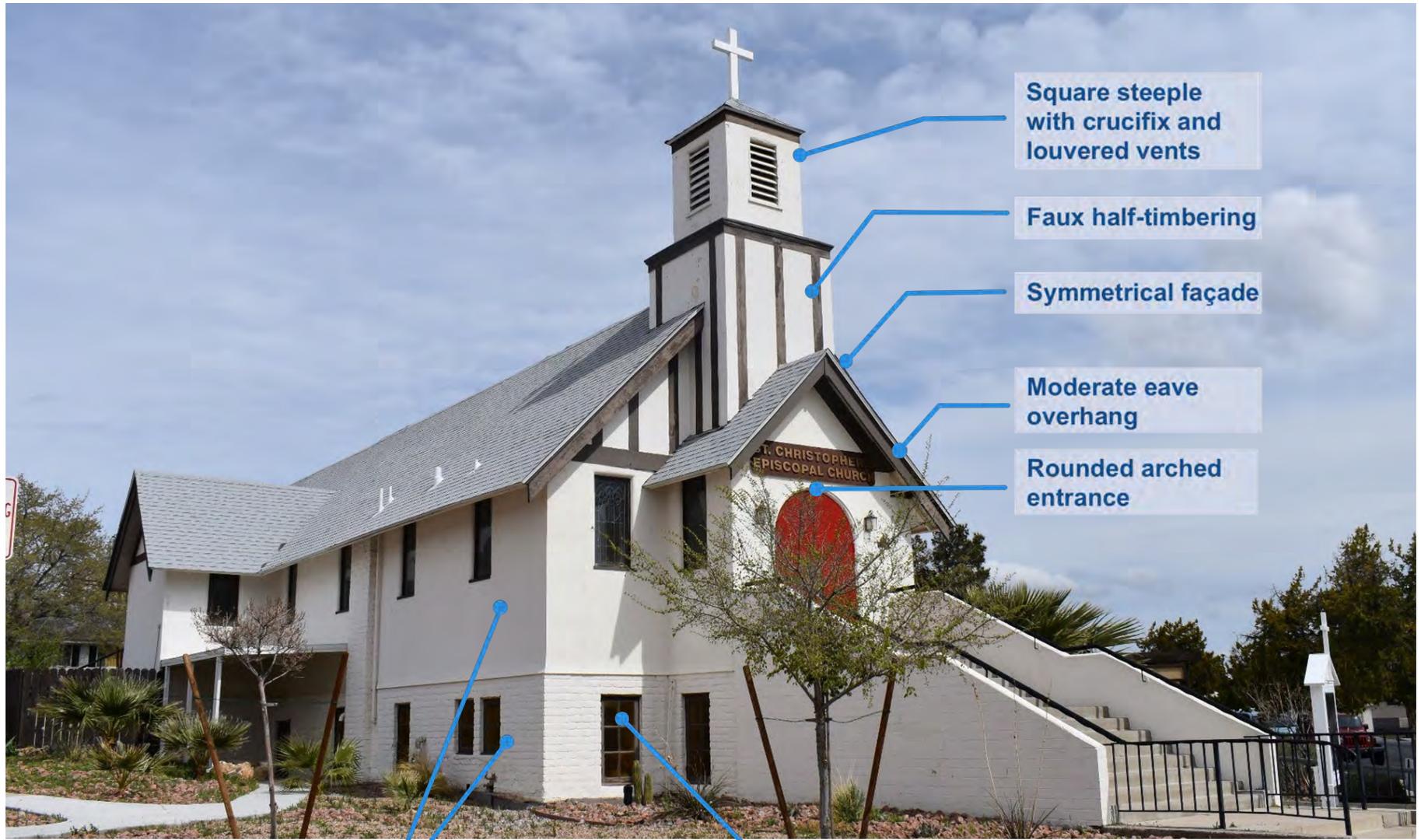
Fenestration: Original windows are stained glass on main level and multi-lite casement on basement level; simple round arched doorway

Architectural Details: Steeple with crucifix and rectangular louvered vents; faux half-timbering at upper levels

Garages: N/A



**NEW TRADITIONAL: TUDOR STYLE
RELIGIOUS/ST. CHRISTOPHER'S EPISCOPAL CHURCH**



Square steeple with crucifix and louvered vents

Faux half-timbering

Symmetrical façade

Moderate eave overhang

Rounded arched entrance

Stucco and brick finish

Multi-lite cement windows



DESIGN GUIDELINES FOR CONTRIBUTING PROPERTIES CONSTRUCTED IN THE MINIMAL TRADITIONAL STYLE

The Boulder City Historic District is made up of both contributing and non-contributing properties. Contributing properties were constructed between 1931 and 1945 and continue to add to the historic integrity or architectural qualities that define, or are directly associated with, the significance of the District because the property has not had major alterations and/or additions. These Design Guidelines are specifically for contributing properties that exhibit the Minimal Traditional Style.

Designated historic districts are significant as a collective whole and must be protected in their entirety. Therefore, additions and alterations to contributing properties are evaluated based on the proposed work's compatibility with the contributing property itself, as well as the District's historic architectural and urban context. Generally speaking, remaining historic materials should not be damaged by new construction/alterations; new work should be differentiated from the old; and work should not adversely affect the character-defining features of the contributing property and/or the overall District.

MINIMAL TRADITIONAL STYLE DESCRIPTION

The Minimal Traditional Style was common for small houses constructed between 1935 and 1950. The style first emerged to meet the demand for modest affordable housing during the Great Depression. It was popularized by the Federal Housing Administration that issued federally-backed mortgage insurance and produced technical bulletins that promoted the style as effective for small home design. The Minimal Traditional style remained popular for defense industry housing built during World War II, and for small homes constructed to alleviate the massive housing shortages that occurred in the postwar era. In the District, the Minimal Traditional style is the second most prevalent style of private residential architecture within the community after the National Folk style. A large proportion of the Minimal Traditional properties in the city also consist of duplexes or other multi-family residences. The majority of Minimal Traditional style homes were constructed by private entities, followed by Reclamation, Babcock and Wilcox, and Six Companies. These single- and multi-family homes can be seen throughout the District. Typical characteristics of the Minimal Traditional style include a low or intermediate pitch roof with little or no eave overhang, simple massing, and minimal amounts of architectural detail.

The City of Boulder City strongly encourages contacting the Community Development Department prior to finalizing a design for a project on a historic property, whether it is considered contributing or non-contributing. A representative of the Department is available to meet with the property owner or owner's representative to review proposed designs and can assist the applicant with meeting the City's compliance goals and objectives.



MINIMAL TRADITIONAL STYLE

CONTRIBUTING MINIMAL TRADITIONAL STYLE PROPERTIES WITHIN THE BOULDER CITY HISTORIC DISTRICT*

STREET	BUILDER	STREET NUMBER
Ash Street	Six Companies Engineers' Housing	432
Avenue A	Babcock & Wilcox Employee Apartments	619, 631, 661
Avenue A	Defense Housing Corp Apartments	648, 656
Avenue B	Babcock & Wilcox Employee Apartments	616, 622, 628
Avenue B	Private Builder	659
Avenue B	US Govt Employees' Housing	701-703, 761-763
Avenue D	Private Builder	620, 632, 667
Avenue G	Private Builder	550
Avenue I	Private Builder	520
California Avenue	Private Builder	555
California Avenue	US Govt Employees' Housing	700-702
Date Street	US Govt Employees' Housing	521-525, 529-533, 537-541, 545-549, 553-557
Date Street	BOR Operations	500 (BOR Engineering Lab), 500 (BOR Metallurgical Lab)
Fifth Street	US Govt Employees' Housing	1308, 1200-1204, 1208-1212
Nevada Way	BOR Operations	318
Nevada Way	Defense Housing Corp Apartments	633, 649
New Mexico Street	US Govt Employees' Housing	1109, 1113-1117, 1209-1213, 1217, 1221, 1301-1305
New Mexico Street	Private	1368
New Mexico Street	Defense Housing Corp Apartments	1600, 1608
Utah Street	Private Builder	529
Wyoming Street	Private Builder	1016, 1101, 1263, 1305, 1367, 1001-1005, 1267-1269, 904-906, 909-913

***Bolded Properties are Recommended Individually Eligible for listing in the NRHP.**



MINIMAL TRADITIONAL STYLE CHARACTER DEFINING FEATURES

The list and images below include typical expressions of the Minimal Traditional style as it exists within the District and is not intended to be an exhaustive list of every variation in the style. Property owners are encouraged to compare the historic features of their property to the Guidelines when planning for rehabilitation projects.

Massing: One story for single-family homes, followed by two-story multi-family examples; floor plans vary but are usually rectangular or L-shaped with US Government Employees' duplex housing having U-shaped plans

Roof: Hipped or gabled with a low to moderate slope; little to no eave overhang; rafter ends can be exposed or covered by fascia; composition shingles have replaced rolled asphalt roofing or asphalt shingles in most examples

Façade: Can be symmetrical or asymmetrical; entrances face the street with very few exceptions; entrances are typically protected by a shallow eave extension or small porch roof

Walls: Stucco is most common, followed by brick

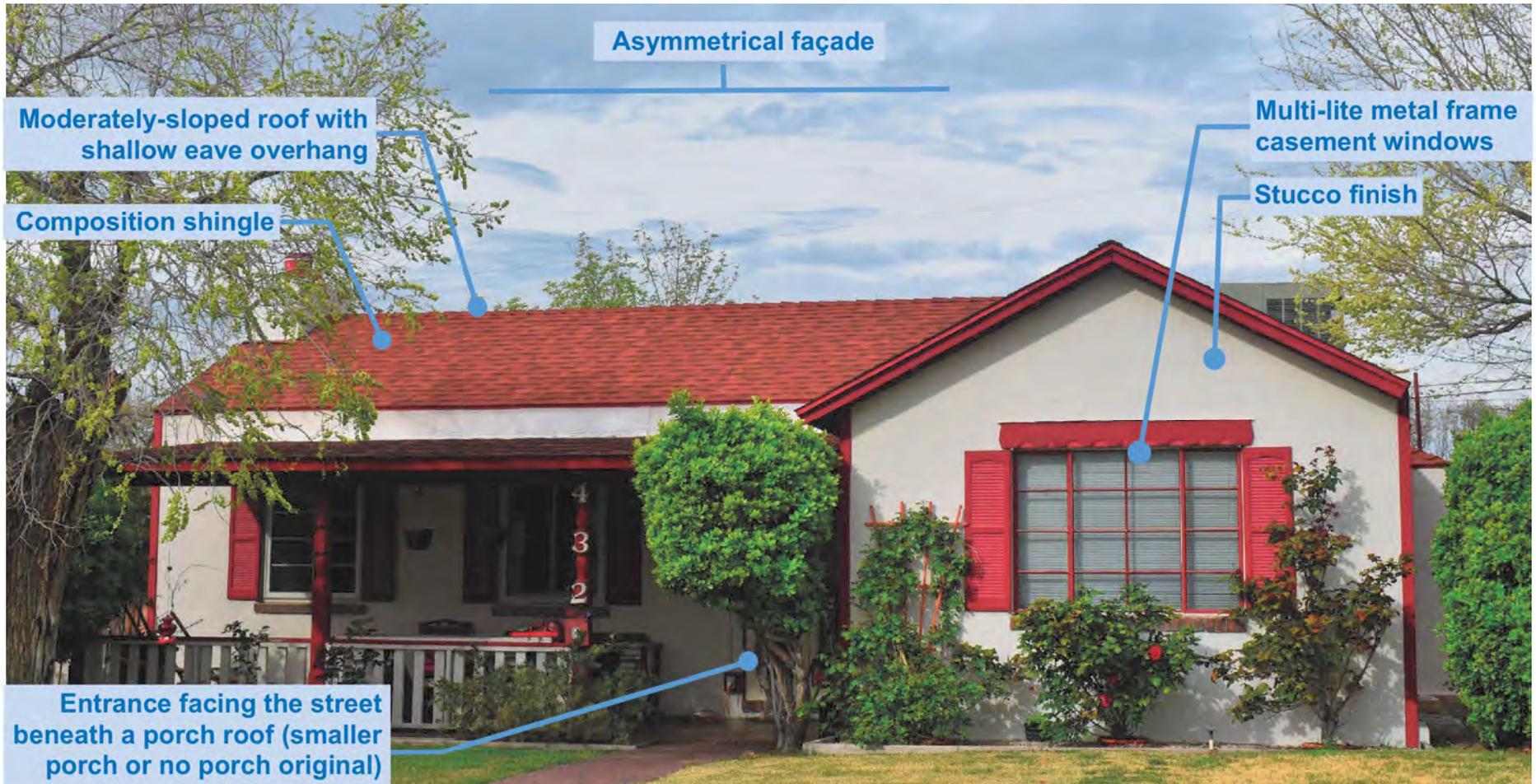
Fenestration: Windows can be multi-lite casement or double-hung style; corner windows; residential windows are usually wood frame, whereas institutional windows are usually metal frame; however, there are instances where the opposite is true (see 432 Ash Street below)

Architectural Details: Porches can consist of extended eaves, or small hipped or gabled roofs extending from the front slope of the roof; porch supports, if used, are thin wood posts

Garages: Most examples have constructed later garages detached from the primary residence; multi-family examples can have shared garages and/or storage amenities. Garages may have been constructed during the District's period of significance and should be considered for preservation.

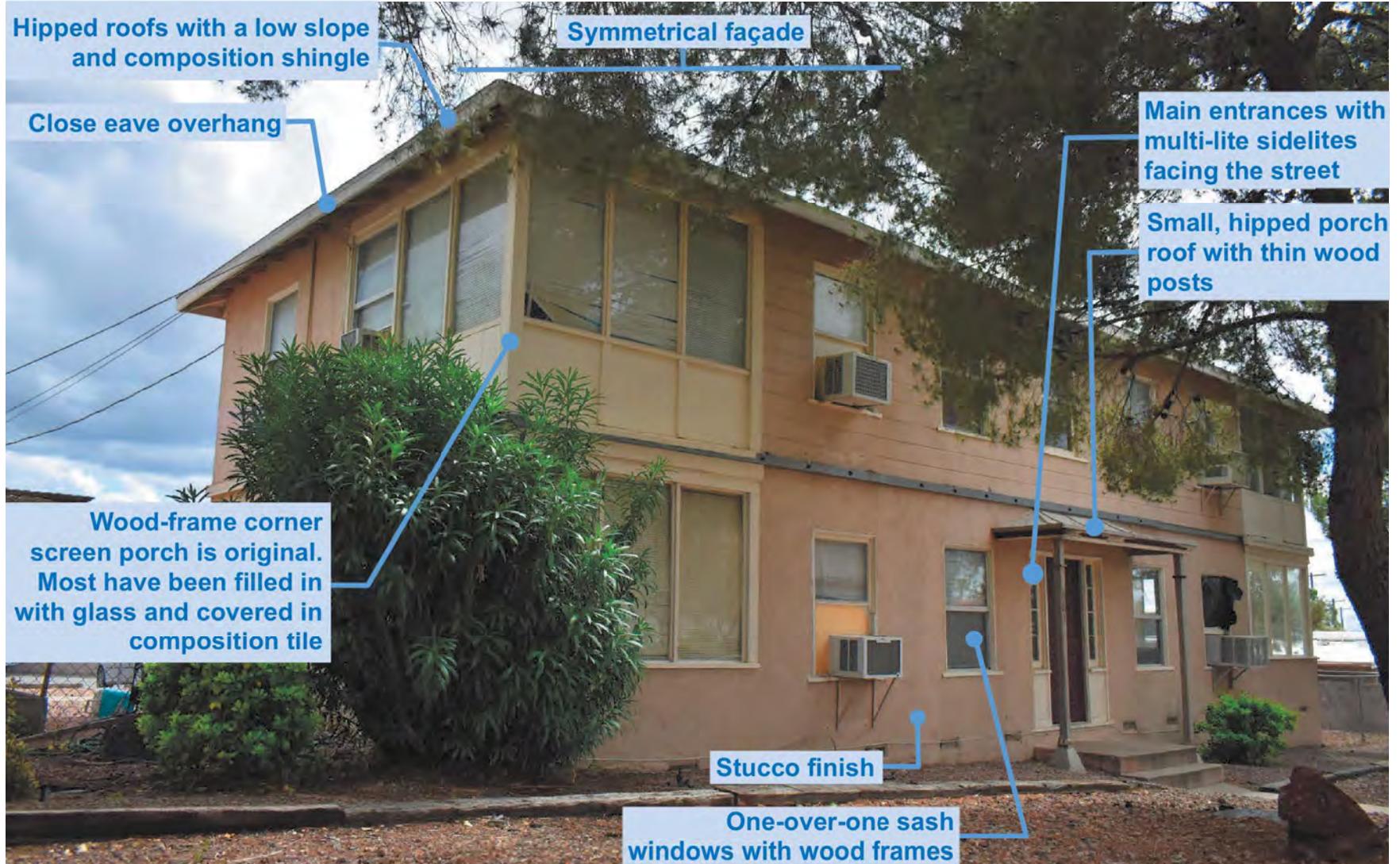


MINIMAL TRADITIONAL
SINGLE FAMILY/SIX COMPANIES ENGINEERS' HOUSING



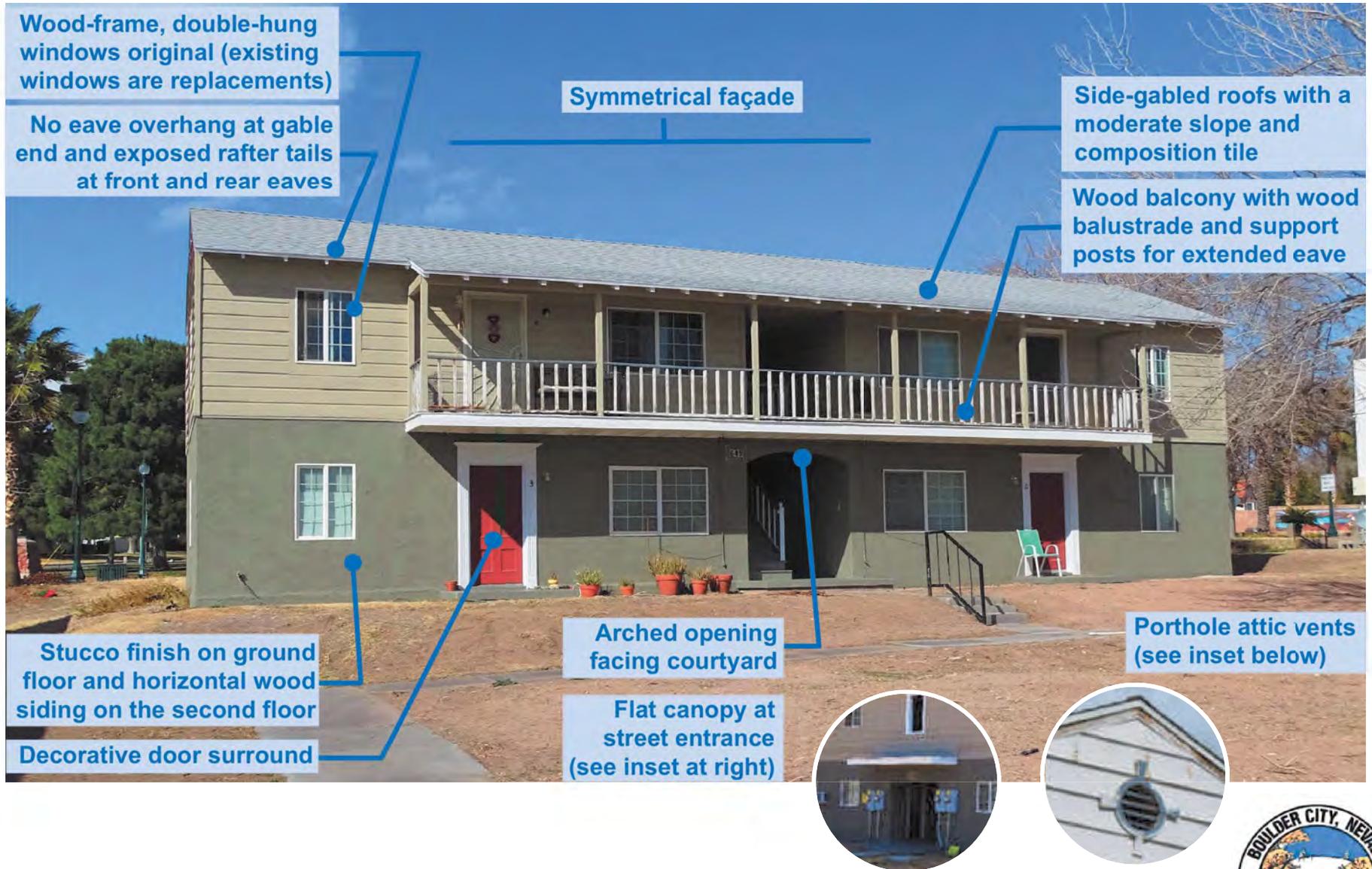
432 ASH STREET, EAST FAÇADE: CONTRIBUTING

MINIMAL TRADITIONAL MULTI-FAMILY/BABCOCK & WILCOX EMPLOYEE APARTMENTS

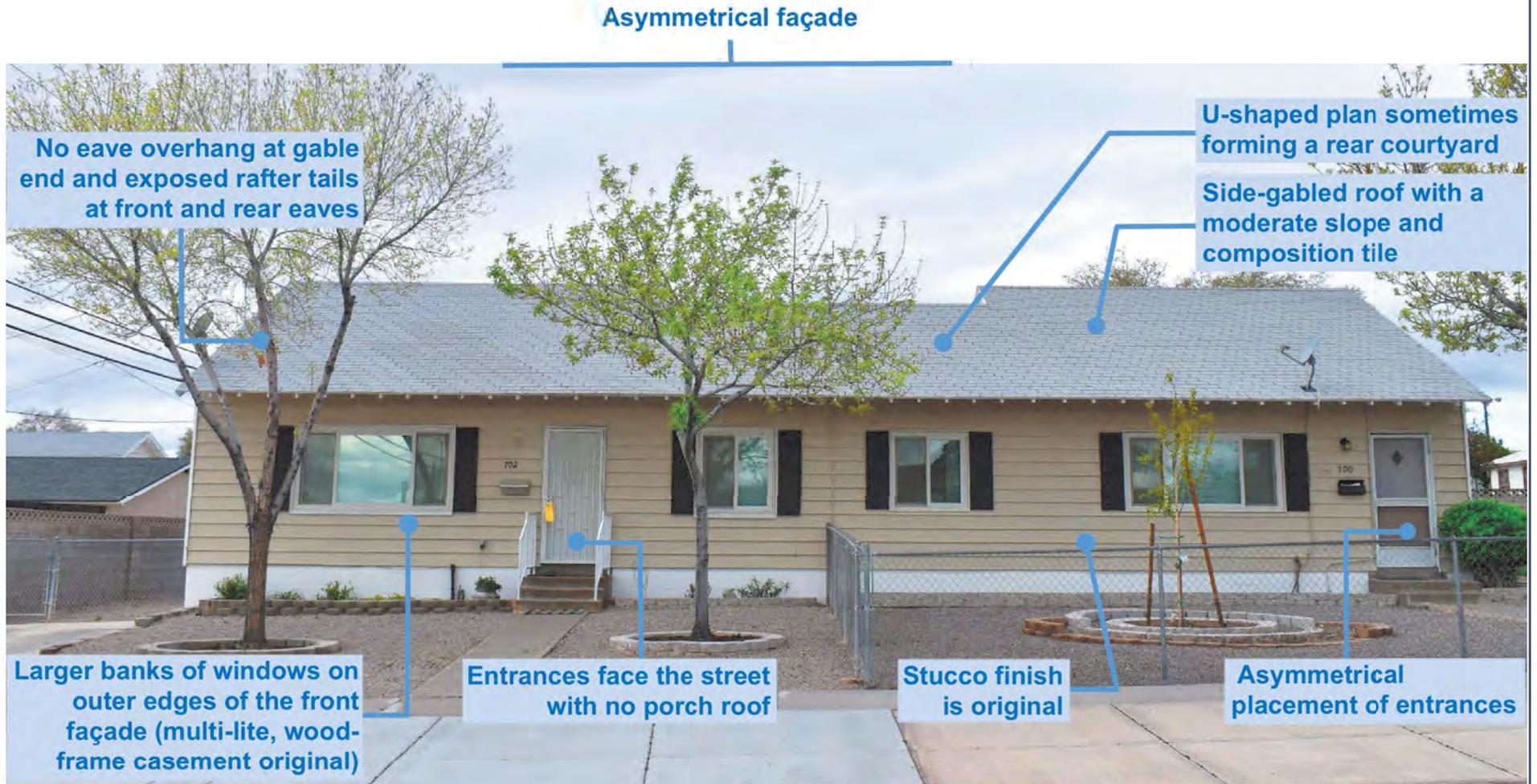


426 ASH STREET, EAST FAÇADE: CONTRIBUTING

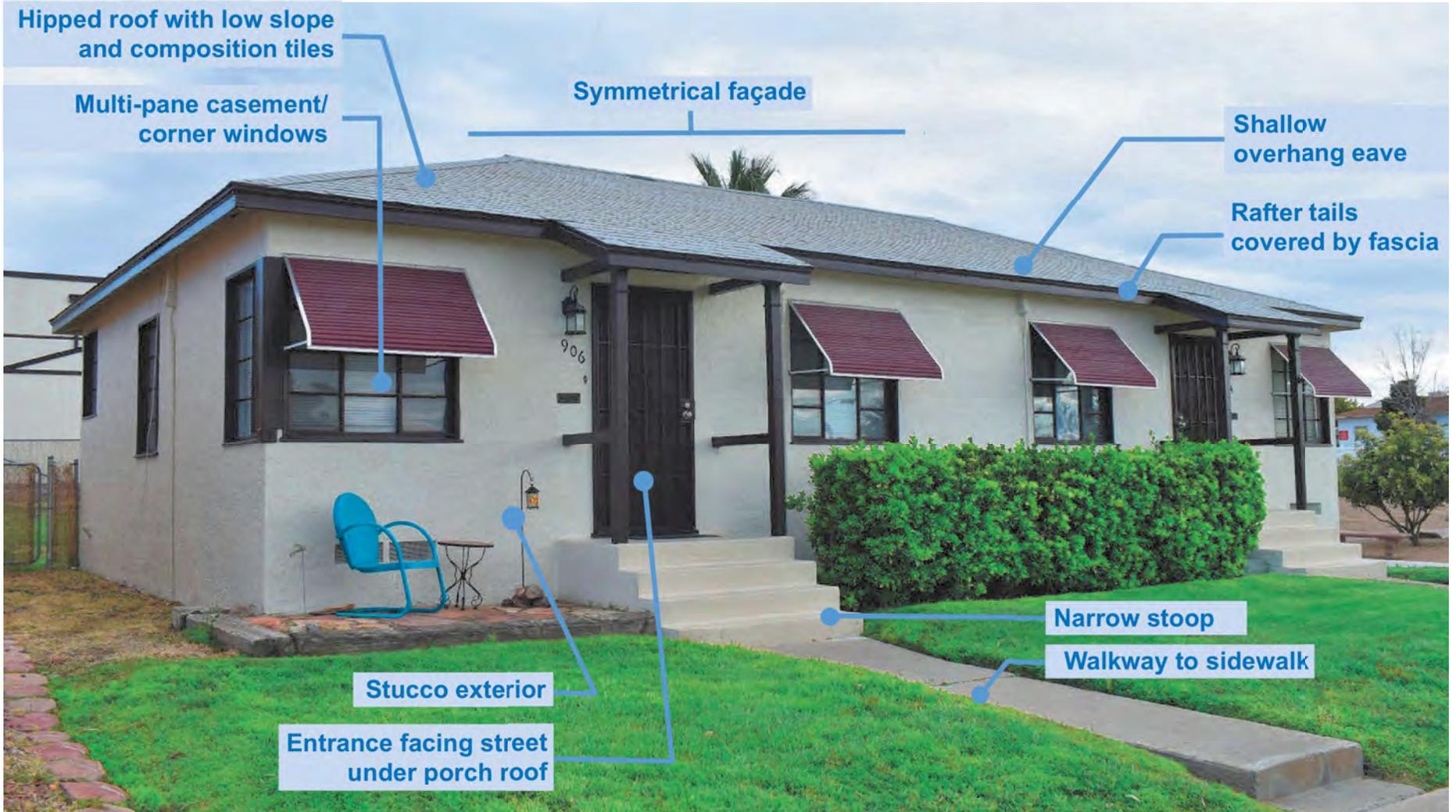
MINIMAL TRADITIONAL MULTI-FAMILY/DEFENSE HOUSING CORPORATION APARTMENTS



MINIMAL TRADITIONAL DUPLEX/US GOVT EMPLOYEES' HOUSING



**MINIMAL TRADITIONAL STYLE
PRIVATE CONSTRUCTION/DUPLEX**



904-906 WYOMING STREET, SOUTH FAÇADE: INDIVIDUALLY ELIGIBLE

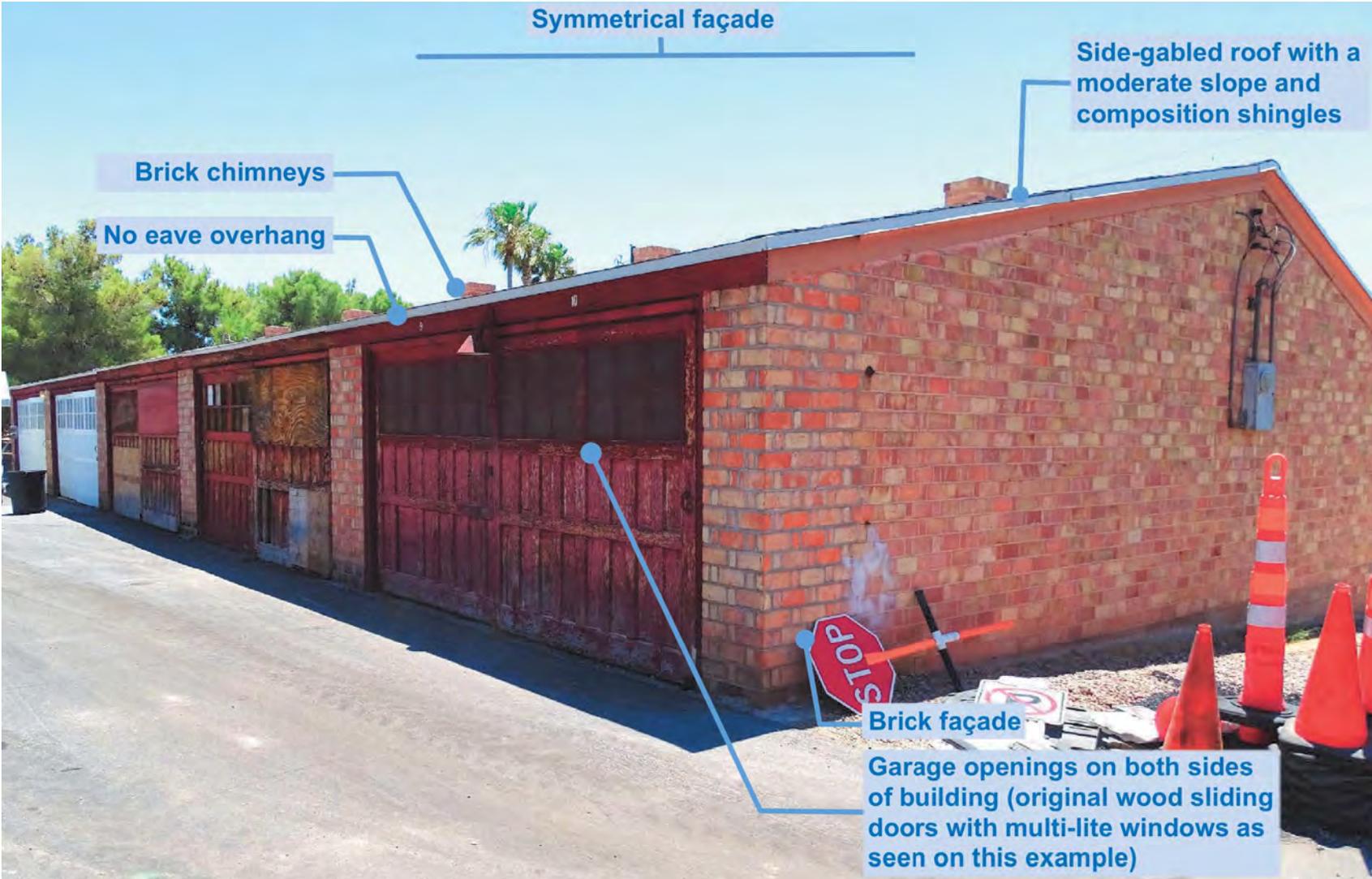
MINIMAL TRADITIONAL STYLE RECLAMATION TRAINING CENTER (INSTITUTIONAL)



500 DATE STREET, SOUTH AND EAST FAÇADES: INDIVIDUALLY ELIGIBLE



**MINIMAL TRADITIONAL STYLE
BOR GARAGE/OPERATIONS**



DESIGN GUIDELINES FOR CONTRIBUTING PROPERTIES CONSTRUCTED IN THE COLONIAL REVIVAL STYLE

The Boulder City Historic District is made up of both contributing and non-contributing properties. Contributing properties were constructed between 1931 and 1945 and continue to add to the historic integrity or architectural qualities that define, or are directly associated with, the significance of the District because the property has not had major alterations and/or additions. These Design Guidelines are specifically for contributing properties that exhibit the Colonial Revival Style.

Designated historic districts are significant as a collective whole and must be protected in their entirety. Therefore, additions and alterations to contributing properties are evaluated based on the proposed work's compatibility with the contributing property itself, as well as the District's historic architectural and urban context. Generally speaking, remaining historic materials should not be damaged by new construction/alterations; new work should be differentiated from the old; and work should not adversely affect the character-defining features of the contributing property and/or the overall District.

COLONIAL REVIVAL STYLE DESCRIPTION

The Colonial Revival style gained in popularity during the Eclectic Movement in American architecture, which occurred from about 1880 to 1955, and drew inspiration from the domestic architecture of various European countries and their New World colonies. The style was the most dominant style for domestic architecture during the first half of the twentieth century, accounting for about 40 percent of the houses constructed between 1910 and 1930. The only Colonial Revival style building in the District is the Boulder Dam Hotel, a commercial building located at 1305 Arizona Street. The hotel exhibits many characteristics of the Colonial Revival style including an accentuated front door with a decorative pediment supported by pilasters, a symmetrical façade, and windows with double-hung sashes and multi-lite glazing.

The City of Boulder City strongly encourages contacting the Community Development Department prior to finalizing a design for a project on a historic property, whether it is considered contributing or non-contributing. A representative of the Department is available to meet with the property owner or owner's representative to review proposed designs and can assist the applicant with meeting the City's compliance goals and objectives.



COLONIAL REVIVAL STYLE

CONTRIBUTING COLONIAL REVIVAL STYLE PROPERTIES WITHIN THE BOULDER CITY HISTORIC DISTRICT*

STREET	BUILDER	STREET NUMBER
Arizona Street	P. S. Webb	1305

*1305 Arizona Street is the Boulder Dam Hotel. The hotel is currently listed in the National Register of Historic Places.

COLONIAL REVIVAL STYLE CHARACTER DEFINING FEATURES

The list and images below include character defining features of the Boulder Dam Hotel, the only recorded example of the Colonial Revival style in the District:

Massing: Two story with “H”-shaped plan oriented to the north

Roof: Side-gabled; capped parapeted gable walls with chimneys; composition shingle covering; moderate slope; close eave overhang

Façade: Symmetrical; full-height portico on front façade supported by square paneled wood columns

Walls: Masonry

Fenestration: Fixed, multi-lite wood windows with multi-lite, non-fixed transoms on the lower level of the front façade; multi-lite, double-hung, sash windows on remainder of building; shutters on upper level windows on front façade; north (main) entrance accentuated by triangular dentiled pediment and surround with pilasters and quoins; multi-lite, wood-frame door with leaded glass transom; west entrance has arched brick motif, transom, and sidelites; east courtyard entrance has triangular pediment, sunburst transom, slim pilasters, and double-leaf, wood-frame, multi-lite door; porthole windows with floral pattern at gable ends

Architectural Details: Exterior chimney on west façade; decorative parapet bracket above arched entrance, west façade; courtyard bordered on east side with masonry wall with decorative brick cap and brackets

Garages: N/A



COLONIAL REVIVAL STYLE COMMERCIAL/ BOULDER DAM HOTEL

Symmetrical façade

Multi-lite, double-hung windows



Accentuated,
central entrance

Full-height portico



1305 ARIZONA STREET, NORTH FACADE: LISTED IN NATIONAL REGISTER OF HISTORIC PLACES

COLONIAL REVIVAL STYLE COMMERCIAL/ BOULDER DAM HOTEL

Round gable end window
at stepped parapet

Decorative wall
bracket



Decorative courtyard
wall with brick cap



1305 ARIZONA STREET, NORTH FACADE: LISTED IN NATIONAL REGISTER OF HISTORIC PLACES

DESIGN GUIDELINES FOR CONTRIBUTING PROPERTIES CONSTRUCTED IN THE CRAFTSMAN STYLE

The Boulder City Historic District is made up of both contributing and non-contributing properties. Contributing properties were constructed between 1931 and 1945 and continue to add to the historic integrity or architectural qualities that define, or are directly associated with, the significance of the District because the property has not had major alterations and/or additions. These Design Guidelines are specifically for contributing properties that exhibit the Craftsman Style.

Designated historic districts are significant as a collective whole and must be protected in their entirety. Therefore, additions and alterations to contributing properties are evaluated based on the proposed work's compatibility with the contributing property itself, as well as the District's historic architectural and urban context. Generally speaking, remaining historic materials should not be damaged by new construction/alterations; new work should be differentiated from the old; and work should not adversely affect the character-defining features of the contributing property and/or the overall District.

CRAFTSMAN STYLE DESCRIPTION

The Craftsman style was the dominant style for smaller houses constructed in the United States between 1905 and 1930. The style originated in southern California and spread throughout the country via pattern books and popular magazines of the era. No examples of the pure form of the Craftsman style are located within the District; however, elements of it, such as low-pitched gabled roofs with wide, unenclosed eave overhangs; exposed rafters; and exposed eave brackets at gable ends, are incorporated into a small number of employee residences constructed by both Reclamation and Six Companies, as well as some private residential construction. For example, the National Folk style homes constructed by Reclamation and Six Companies incorporated eave brackets at gable ends. Most of the homes labeled as Craftsman during the most recent historic resource survey were done so based on later alterations meant to give the home a Craftsman style appearance. Only one property, located at 600 Avenue C, retains original Craftsman style elements, including a cross-gabled roof with recessed gables on the north and south elevations; a central porch sheltered under the main roof; groupings of two or more windows; stone cladding; and unenclosed eaves.

The City of Boulder City strongly encourages contacting the Community Development Department prior to finalizing a design for a project on a historic property, whether it is considered contributing or non-contributing. A representative of the Department is available to meet with the property owner or owner's representative to review proposed designs and can assist the applicant with meeting the City's compliance goals and objectives.



CRAFTSMAN STYLE

CONTRIBUTING CRAFTSMAN STYLE PROPERTIES WITHIN THE BOULDER CITY HISTORIC DISTRICT

STREET	BUILDER	STREET NUMBER
Avenue C	Private Builder	600

CRAFTSMAN STYLE CHARACTER DEFINING FEATURES

The list and image below include character-defining elements for 600 Avenue C, the only recorded property with original Craftsman style elements in the District (does not include accessory building in rear yard):

Massing: One story with raised basement; square plan

Roof: Cross-gabled with recessed gables on the north and south façade; open eaves with plain wood fascia

Façade: Massing is symmetrical with asymmetrical fenestration; entrances face the street; central porch is recessed beneath eave

Walls: Ashlar stone with flat arch and keystone lintels

Fenestration: Wood frame, one-over-one, double-hung windows; paired on front (east) façade; single-lite, wood-frame windows on basement level

Architectural Details: Attic vent at top of gable; horizontal band of darker stone separating the basement and upper level; thick stone piers at porch steps

Garages: N/A



**CRAFTSMAN STYLE
PRIVATE CONSTRUCTION/MULTI-FAMILY**



DESIGN GUIDELINES FOR CONTRIBUTING PROPERTIES CONSTRUCTED IN THE LATE GOTHIC REVIVAL STYLE

The Boulder City Historic District is made up of both contributing and non-contributing properties. Contributing properties were constructed between 1931 and 1945 and continue to add to the historic integrity or architectural qualities that define, or are directly associated with, the significance of the District because the property has not had major alterations and/or additions. These Design Guidelines are specifically for contributing properties that exhibit the Late Gothic Revival Style.

Designated historic districts are significant as a collective whole and must be protected in their entirety. Therefore, additions and alterations to contributing properties are evaluated based on the proposed work's compatibility with the contributing property itself, as well as the District's historic architectural and urban context. Generally speaking, remaining historic materials should not be damaged by new construction/alterations; new work should be differentiated from the old; and work should not adversely affect the character-defining features of the contributing property and/or the overall District.

LATE GOTHIC REVIVAL STYLE DESCRIPTION

The Late Gothic Revival style peaked in popularity for American domestic architecture during the mid-to-late nineteenth century (1840–1880). However, the style remained popular for church architecture through the 1940s, drawing inspiration from the Gothic cathedrals of Medieval Europe. The only recorded building in the District that exhibits characteristics of the Late Gothic Revival style, such as a steeply pitched gable roof, arched windows, stained glass, and exterior buttresses, is the original portion of the Grace Community Church located at 1150 Wyoming Street, with the later addition containing only modest elements of this style.

The City of Boulder City strongly encourages contacting the Community Development Department prior to finalizing a design for a project on a historic property, whether it is considered contributing or non-contributing. A representative of the Department is available to meet with the property owner or owner's representative to review proposed designs and can assist the applicant with meeting the City's compliance goals and objectives.



LATE GOTHIC REVIVAL STYLE

CONTRIBUTING LATE GOTHIC REVIVAL STYLE PROPERTIES WITHIN THE BOULDER CITY HISTORIC DISTRICT

STREET	BUILDER	STREET NUMBER
Wyoming Street	Private Builder	1150

LATE GOTHIC REVIVAL STYLE CHARACTER DEFINING FEATURES

The list and images below include character defining features of the Grace Community Church, the only recorded example of the Late Gothic Revival style in the District:

Massing: One-and-one-half story building; inverted “J” plan

Roof: Steeply-pitched gable roof with parapet walls and no rake; composition shingle covering; wood at gable ends and dormer vents (1940s addition)

Façade: Symmetrical with main (south) entrance facing the street

Walls: Brick

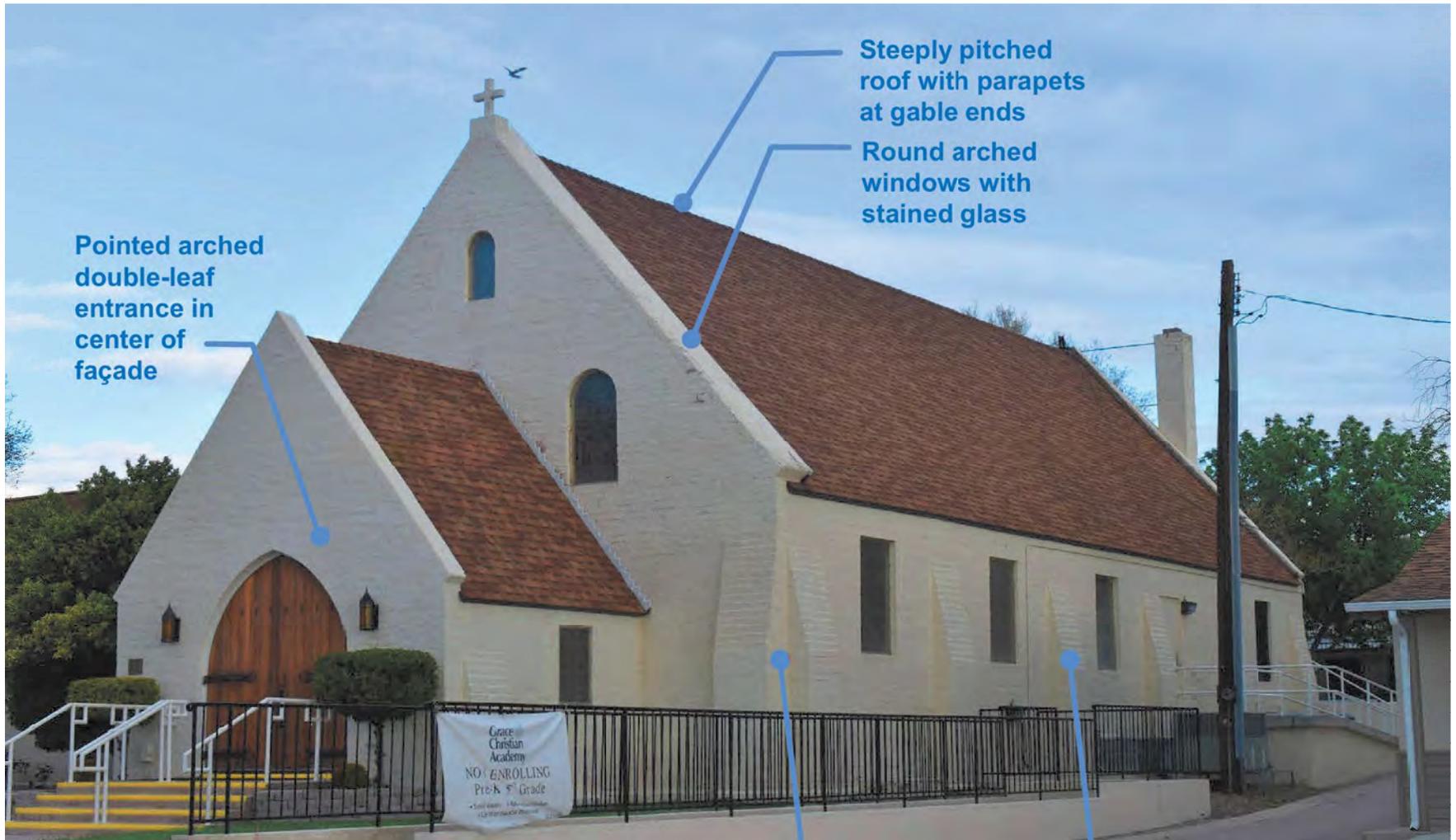
Fenestration: Round arched windows with stained glass on front façade; pointed arch doorway with wood door and wrought iron hardware; multi-lite sash style windows (1940s addition)

Architectural Details: Simple brick buttresses located at regular intervals along exterior walls; exterior brick chimney at rear facade

Garages: N/A



LATE GOTHIC REVIVAL STYLE
RELIGIOUS/GRACE COMMUNITY CHURCH



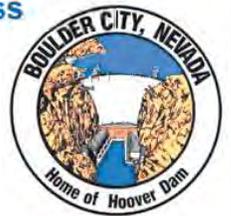
Pointed arched
double-leaf
entrance in
center of
façade

Steeply pitched
roof with parapets
at gable ends

Round arched
windows with
stained glass

Brick facade

Brick buttress



1150 WYOMING STREET, NORTH FAÇADE OF ORIGINAL 1933 PORTION: CONTRIBUTING

**LATE GOTHIC REVIVAL STYLE
RELIGIOUS/GRACE COMMUNITY CHURCH**



**Steeply pitched roof with
no eave overhang and
wood siding at gable ends**

**Multi-lite double hung
style windows**

Dormer roof vents



1150 WYOMING STREET, SOUTH FAÇADE OF 1940s ADDITION: CONTRIBUTING

DESIGN GUIDELINES FOR CONTRIBUTING PROPERTIES CONSTRUCTED IN THE MISSION STYLE

The Boulder City Historic District is made up of both contributing and non-contributing properties. Contributing properties were constructed between 1931 and 1945 and continue to add to the historic integrity or architectural qualities that define, or are directly associated with, the significance of the District because the property has not had major alterations and/or additions. These Design Guidelines are specifically for contributing properties that exhibit the Mission Style.

Designated historic districts are significant as a collective whole and must be protected in their entirety. Therefore, additions and alterations to contributing properties are evaluated based on the proposed work's compatibility with the contributing property itself, as well as the District's historic architectural and urban context. Generally speaking, remaining historic materials should not be damaged by new construction/alterations; new work should be differentiated from the old; and work should not adversely affect the character-defining features of the contributing property and/or the overall District.

MISSION STYLE DESCRIPTION

The Mission style gained in popularity during the Eclectic Movement in American architecture, which occurred from about 1880 through the 1940s, and drew inspiration from the domestic architecture of various European countries. The style was most popular in America from about 1890 to 1920 and was most prevalent in the southwestern United States. In the District, the Mission style is most common for commercial buildings constructed before 1941. While the architectural design of commercial buildings in the District was largely left up to individual owners, Reclamation's urban planner, S. R. DeBoer, recommended that architectural guidelines be utilized to maintain visual continuity within the business district. The guidelines recommended by DeBoer embraced many elements of the Mission style, including arcaded façades, parapets, and stucco exteriors. In the District, all contributing Mission style buildings are concentrated in the City's commercial district along Arizona Street and Nevada Way.

The City of Boulder City strongly encourages contacting the Community Development Department prior to finalizing a design for a project on a historic property, whether it is considered contributing or non-contributing. A representative of the Department is available to meet with the property owner or owner's representative to review proposed designs and can assist the applicant with meeting the City's compliance goals and objectives.



MISSION STYLE

CONTRIBUTING MISSION STYLE PROPERTIES WITHIN THE BOULDER CITY HISTORIC DISTRICT*

STREET	BUILDER	STREET NUMBER
Arizona Street	Private Builder	1129, 1225 , 1229, 1325
Avenue B	Private Builder	525

***Bolded Properties are Recommended Individually Eligible for listing in the NRHP.**

MISSION STYLE CHARACTER DEFINING FEATURES

The list and image below include typical expressions of the Mission style as it exists within the District and is not intended to be an exhaustive list of every variation in the style. Property owners are encouraged to compare the historic features of their property to the Guidelines when planning for rehabilitation projects.

Massing: One story followed by two story buildings; commercial buildings have a simple, rectangular plan conforming to the City lot

Roof: Flat; sculpted and detailed parapets

Façade: Recessed entrances sheltered beneath arcaded façades or canopies; symmetrical facades

Walls: Stucco

Fenestration: Divided-lite, metal-frame windows; large commercial storefront windows

Architectural Details: Canopies, arcades, and porticos shading the sidewalk; front façade built to property line

Garages: N/A



MISSION STYLE
COMMERICAL/BOULDER THEATRE

Symmetrical façade



Flat roof with parapet

Stucco exterior on front façade

Metal, multi-lite casement windows

Arcaded canopy

Façade built to property line



1225 ARIZONA STREET, NORTH FAÇADE: INDIVIDUALLY ELIGIBLE

DESIGN GUIDELINES FOR CONTRIBUTING PROPERTIES CONSTRUCTED IN THE MODERNISTIC STYLE

The Boulder City Historic District is made up of both contributing and non-contributing properties. Contributing properties were constructed between 1931 and 1945 and continue to add to the historic integrity or architectural qualities that define, or are directly associated with, the significance of the District because the property has not had major alterations and/or additions. These Design Guidelines are specifically for contributing properties that exhibit the Modernistic Style.

Designated historic districts are significant as a collective whole and must be protected in their entirety. Therefore, additions and alterations to contributing properties are evaluated based on the proposed work's compatibility with the contributing property itself, as well as the District's historic architectural and urban context. Generally speaking, remaining historic materials should not be damaged by new construction/alterations; new work should be differentiated from the old; and work should not adversely affect the character-defining features of the contributing property and/or the overall District.

MODERNISTIC STYLE DESCRIPTION

The Modernistic style was popular for American architecture between 1920 and 1940. The earlier form of the style was Art Deco – common for public and commercial buildings during the 1920s and 1930s. After the 1930s, Art Moderne became the prevalent Modernistic form. In the District, the Modernistic style is applied to commercial buildings constructed after 1941 with two examples located on Arizona Street, and one located on Wyoming Street, in the City's downtown business district. Distinctive features of the style within the District include smooth stucco wall surfaces; flat roofs with parapets and flat canopies, sometimes with semi-circular or curved shapes; narrow horizontal grooves or projecting lines in or on walls to give a horizontal emphasis, sometimes paired with vertical grooves or lines; rounded exterior corners; porthole windows; and asymmetrical facades. The only contributing Modernistic building with the District is 1220 – 1228 Arizona Street.

The City of Boulder City strongly encourages contacting the Community Development Department prior to finalizing a design for a project on a historic property, whether it is considered contributing or non-contributing. A representative of the Department is available to meet with the property owner or owner's representative to review proposed designs and can assist the applicant with meeting the City's compliance goals and objectives.



MODERNISTIC STYLE

CONTRIBUTING MODERNISTIC STYLE PROPERTIES WITHIN THE BOULDER CITY HISTORIC DISTRICT

STREET	BUILDER	STREET NUMBER
Arizona Street	Private Builder	1220-1228

MODERNISTIC STYLE CHARACTER DEFINING FEATURES

The list and images below include character-defining elements of 1220 – 1228 Arizona Street, the only contributing example of the Modernistic style within the District:

Massing: One story; rectangular plan; façade built to, and flush with, street front property line

Roof: Flat with parapet wall

Façade: Asymmetrical with commercial entrances facing the street; cantilevered or suspended canopies, arcades, porticos, or awnings

Walls: Stucco; brick

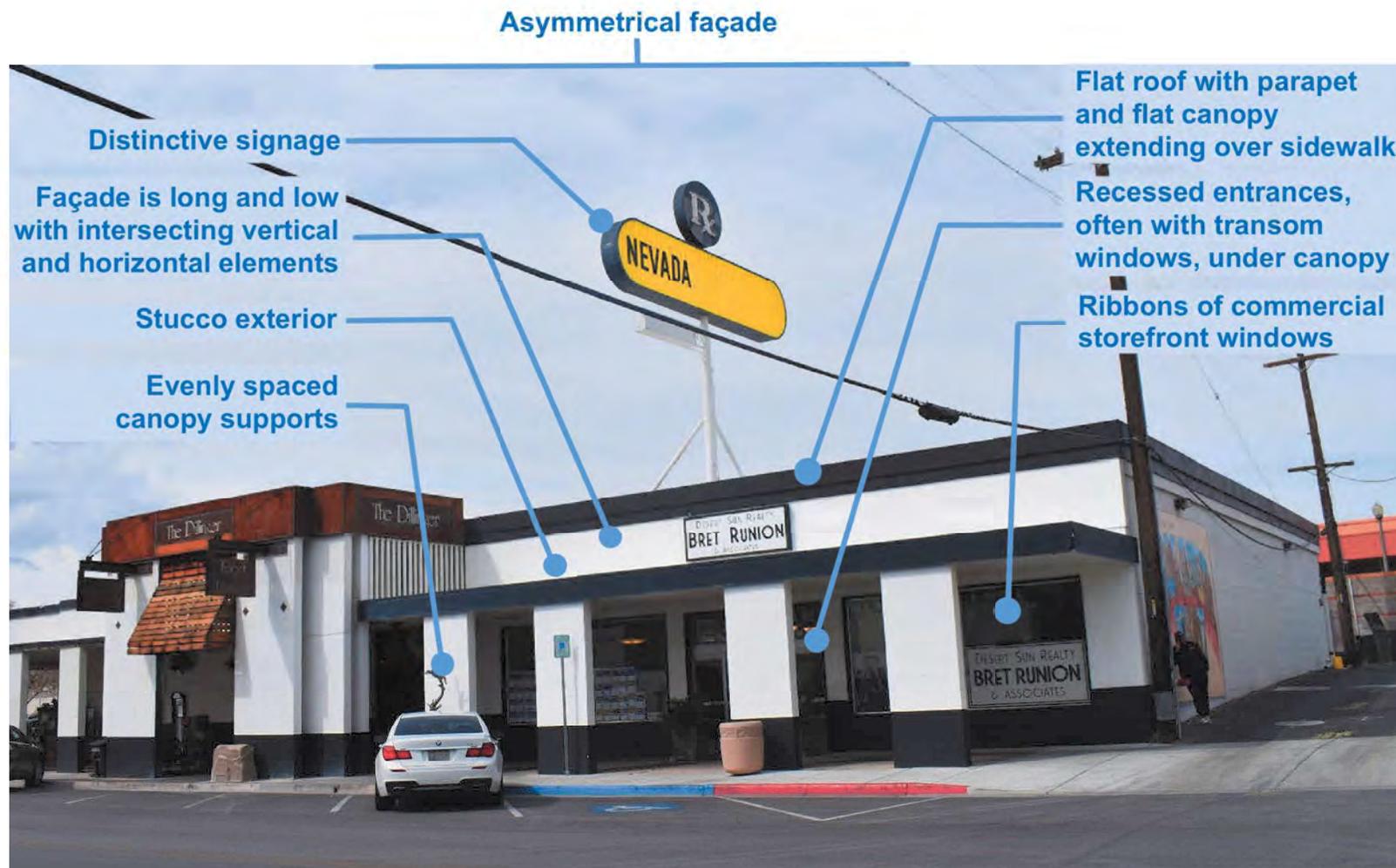
Fenestration: Ribbons of commercial storefront windows; glass storefront entrances with transoms; large plate glass windows

Architectural Details: Unique signage in a Modernistic style for commercial properties; flat canopies supported by rectangular columns; no visible structure at eaves; rounded corner with entrance; rounded canopy

Garages: N/A

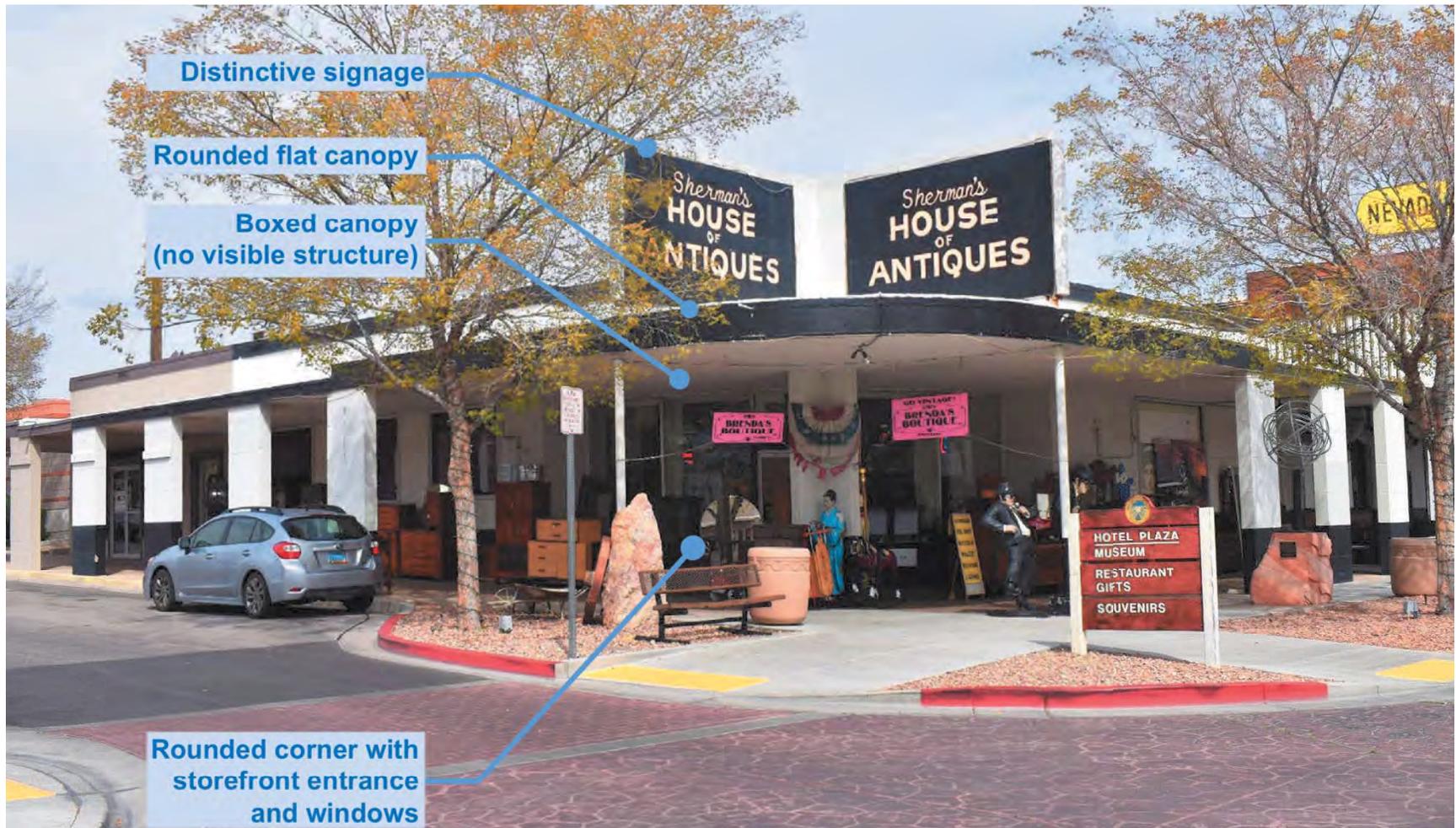


MODERNISTIC STYLE COMMERCIAL



1220 - 1228 ARIZONA STREET, SOUTH FAÇADE: CONTRIBUTING

**MODERNISTIC STYLE
COMMERCIAL**



DESIGN GUIDELINES FOR CONTRIBUTING PROPERTIES CONSTRUCTED IN THE MONTEREY STYLE

The Boulder City Historic District is made up of both contributing and non-contributing properties. Contributing properties were constructed between 1931 and 1945 and continue to add to the historic integrity or architectural qualities that define, or are directly associated with, the significance of the District because the property has not had major alterations and/or additions. These Design Guidelines are specifically for contributing properties that exhibit the Monterey Style.

Designated historic districts are significant as a collective whole and must be protected in their entirety. Therefore, additions and alterations to contributing properties are evaluated based on the proposed work's compatibility with the contributing property itself, as well as the District's historic architectural and urban context. Generally speaking, remaining historic materials should not be damaged by new construction/alterations; new work should be differentiated from the old; and work should not adversely affect the character-defining features of the contributing property and/or the overall District.

MONTEREY STYLE DESCRIPTION

The Monterey style was popular during the Eclectic Movement in American architecture, which occurred from about 1880 through the 1940s and drew inspiration from the domestic architecture of various European countries. The style is a free interpretation of the Anglo-influenced Spanish Colonial houses of northern California. It was popular for American domestic architecture from about 1925 to 1955 and was most common in California and Texas. The Monterey style was used by Reclamation architects for the construction of the project department head residence located at 700 Park Street. This permanent residence was one of the finest homes constructed in the District and was intended for use by Reclamation executives and their families. Monterey style houses are typically two stories in height, with a low-pitched gabled roof, and often have a broad second-story cantilevered balcony that is covered by the principal roof.

The City of Boulder City strongly encourages contacting the Community Development Department prior to finalizing a design for a project on a historic property, whether it is considered contributing or non-contributing. A representative of the Department is available to meet with the property owner or owner's representative to review proposed designs and can assist the applicant with meeting the City's compliance goals and objectives.



MONTEREY STYLE

CONTRIBUTING MONTEREY STYLE PROPERTIES WITHIN THE BOULDER CITY HISTORIC DISTRICT*

STREET	BUILDER OR TYPE	STREET NUMBER
Park Street	BOR Department Head Housing	700

***Bolded Properties are Recommendationally Eligible for listing in the NRHP.**

MONTEREY STYLE CHARACTER DEFINING FEATURES

The list and image below include character defining features of 700 Park Street, the only recorded example of the Monterey style in the district:

Massing: Two stories; rectangular plan; full-width upper story balcony, cantilevered and covered by an extended eave

Roof: Side-gabled; low to moderately sloped with little-to-no eave overhang; exposed, carved rafter ends; composition shingles

Façade: Asymmetrical with entrance facing the street

Walls: Multi-colored brick laid in a Flemish bond pattern

Fenestration: Steel casement windows with faux shutters; multi-lite entries on balcony level

Architectural Details: Brick chimney with terra-cotta caps; cantilevered balcony with wood railing; faux shutters

Garages: N/A



MONTEREY STYLE SINGLE FAMILY/RECLAMATION DEPARTMENT HEADS HOUSING

Asymmetrical façade

Brick chimney with terra cota caps

Side gabled roof with little to no eave overhang

Flemish bond brick

Exposed decorative rafter ends

Full width cantilevered balcony with decorative wood balustrade

Multi-lite casement windows with faux shutters



700 PARK STREET, SOUTH FAÇADE: INDIVIDUALLY ELIGIBLE



DESIGN GUIDELINES FOR CONTRIBUTING PROPERTIES CONSTRUCTED IN THE RANCH STYLE

The Boulder City Historic District is made up of both contributing and non-contributing properties. Contributing properties were constructed between 1931 and 1945 and continue to add to the historic integrity or architectural qualities that define, or are directly associated with, the significance of the District because the property has not had major alterations and/or additions. These Design Guidelines are specifically for contributing properties that exhibit the Ranch Style.

Designated historic districts are significant as a collective whole and must be protected in their entirety. Therefore, additions and alterations to contributing properties are evaluated based on the proposed work's compatibility with the contributing property itself, as well as the District's historic architectural and urban context. Generally speaking, remaining historic materials should not be damaged by new construction/alterations; new work should be differentiated from the old; and work should not adversely affect the character-defining features of the contributing property and/or the overall District.

RANCH STYLE DESCRIPTION

The Ranch style was a popular style for domestic architecture in the United States between 1935 and 1975. The style originated in southern California in the mid-1930s and gained in popularity as the financial controls that favored small house types were gradually lifted after World War II. During the 1950s and 1960s, the Ranch style was the most popular architectural style for residential construction in the country. In the District, the style was most commonly used by Southern California Edison for the construction of single-family employee housing. As the Ranch style homes within the District were mainly constructed in the 1930s, these homes display characteristics of the early Ranch style such as a more compact or square floor plan (as opposed to a more rectangular or L-shaped floor plan with the long edge running parallel to the street that is common with later Ranch styles); and a moderately-pitched roof with a moderate eave overhang (as opposed to a very low-sloped roof and wide eave overhang). Additional characteristics of the Ranch style seen within the District include a one-story massing with an asymmetrical façade; hipped or gabled roof; recessed porch with entrance; slate may cover the stoop; and asbestos cement tile roofing in a variety of red earth tones meant to mimic Spanish tiles. The majority of the Ranch style homes within the District were constructed by Southern California Edison, followed by Six Companies, and Reclamation. The only contributing properties originally constructed in this style are the Southern California Edison homes located along Cherry Street. The remaining contributing Ranch style home was constructed by Six Companies and is located on Ash Street.²

1. Many of the properties assigned the Ranch style during the most recent survey of the District (2020) were classified as such due to later alterations to original styles. The examples used for these guidelines are of contributing properties that retain most, if not all, of their original architectural features.
2. The home located at 426 Ash is not included with similar homes of the same builder assigned the Spanish Ranch style due to the removal of the Spanish tile roof; however, it retains much of its historic integrity and is still considered contributing.



RANCH STYLE

CONTRIBUTING RANCH STYLE PROPERTIES WITHIN THE BOULDER CITY HISTORIC DISTRICT*

STREET	BUILDER OR TYPE	STREET NUMBER
Ash Street	Six Companies Engineers' Housing	426
Cherry Street	Southern California Edison Company Employees' Housing	507, 508, 511 , 512, 516 , 519 , 523, 524 , 528 , 532 , 536 , 540, 548 , 552 , 556

***Bolded Properties are Recommended Individually Eligible for listing in the NRHP.**

RANCH STYLE CHARACTER DEFINING FEATURES

The list and images below include typical expressions of the Ranch style as it exists within the District and is not intended to be an exhaustive list of every variation in the style. Property owners are encouraged to compare the historic features of their property to the Guidelines when planning for rehabilitation projects.

Massing: One story; elongated plan with primary elevation parallel to street; square or L-shaped plans

Roof: Hipped and/or gabled; moderate- to wide-eave overhangs; exposed or hidden rafter ends; composition shingles; asbestos cement tiles

Façade: Asymmetrical; front entry porch recessed under eave; projecting patio covers or screen porches; recessed sun porches; cross-bracing at porch railings; square wood porch roof supports

Walls: Stucco; wood, horizontal drop siding; asbestos cement shingle siding

Fenestration: Multi-lite double-hung sash windows with wood frames; triple sets of double-hung sash windows on some models; Ranch style homes on Cherry Street have entrances facing onto the front porch as opposed to facing the street; Six Companies example (436 Ash Street) has entrance facing the street

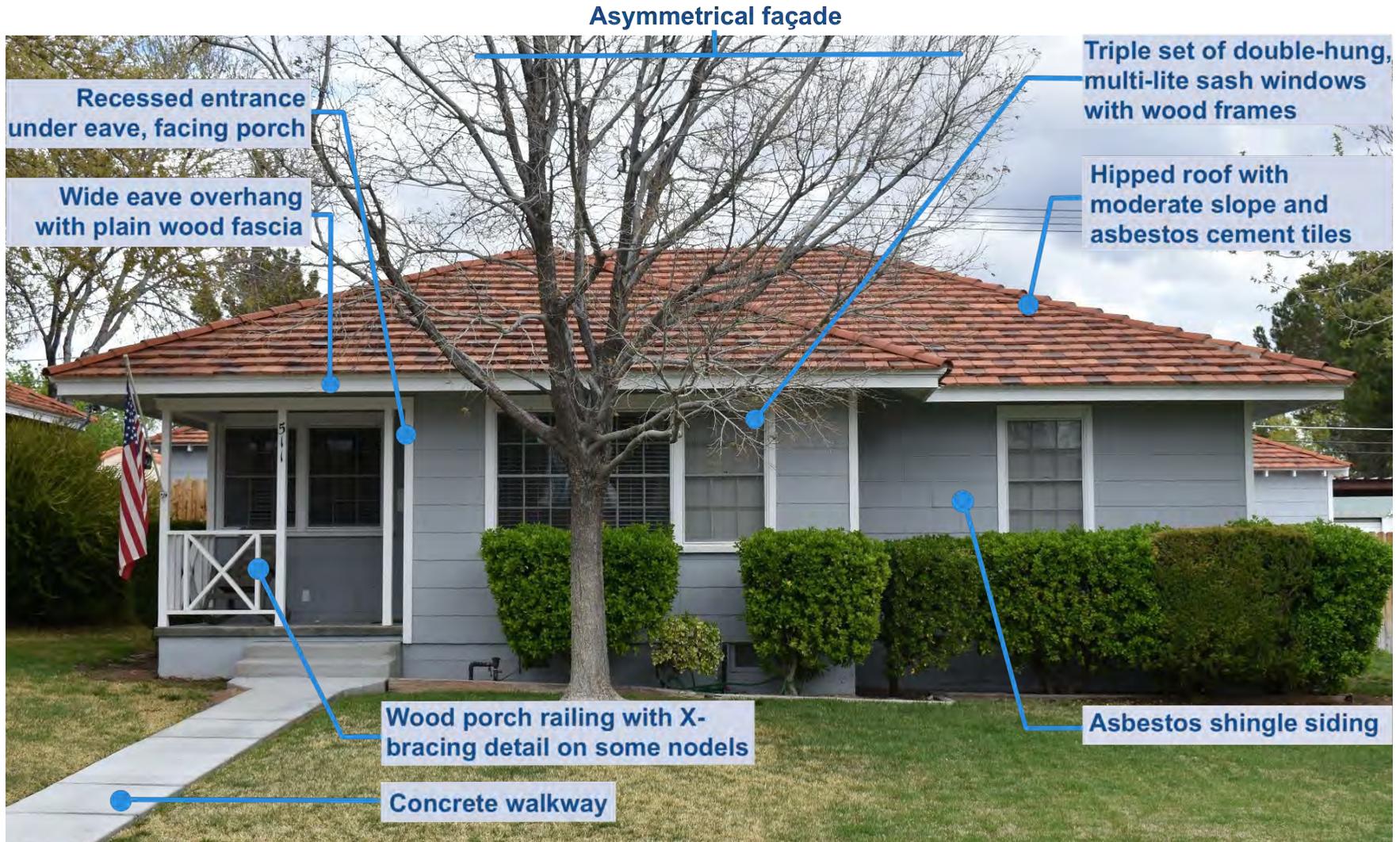
Architectural Details: The homes on Cherry Street have distinctive "X" bracing incorporated into the porch railing, and recessed front entry porch with slate stone

Garages: Detached shared garages on Cherry Street, accessed via alley

The City of Boulder City strongly encourages contacting the Community Development Department prior to finalizing a design for a project on a historic property, whether it is considered contributing or non-contributing. A representative of the Department is available to meet with the property owner or owner's representative to review proposed designs and can assist the applicant with meeting the City's compliance goals and objectives.



**RANCH STYLE
SINGLE-FAMILY/SOUTHERN CALIFORNIA EDISON EMPLOYEE HOUSING**



511 CHERRY STREET, WEST FAÇADE: INDIVIDUALLY ELIGIBLE

**RANCH STYLE
SINGLE-FAMILY/SIX COMPANIES ENGINEERS' HOUSING**

Asymmetrical façade



426 ASH STREET, EAST FAÇADE: CONTRIBUTING

DESIGN GUIDELINES FOR CONTRIBUTING PROPERTIES CONSTRUCTED IN THE SPANISH RANCH STYLE

The Boulder City Historic District is made up of both contributing and non-contributing properties. Contributing properties were constructed between 1931 and 1945 and continue to add to the historic integrity or architectural qualities that define, or are directly associated with, the significance of the District because the property has not had major alterations and/or additions. These Design Guidelines are specifically for contributing properties that exhibit the Spanish Ranch Style.

Designated historic districts are significant as a collective whole and must be protected in their entirety. Therefore, additions and alterations to contributing properties are evaluated based on the proposed work's compatibility with the contributing property itself, as well as the District's historic architectural and urban context. Generally speaking, remaining historic materials should not be damaged by new construction/alterations; new work should be differentiated from the old; and work should not adversely affect the character-defining features of the contributing property and/or the overall District.

SPANISH RANCH STYLE DESCRIPTION

The Spanish Ranch style was the earliest example of a Styled Ranch. The style was popular for American domestic architecture between 1935 and 1985 and was most prevalent in the southwestern United States. In the District, the style was most commonly used for the construction of single-family and duplex housing for the employees of the Los Angeles Bureau of Power and Light (LABPL), followed by Six Companies Engineers' housing, and Reclamation Engineers' housing, although there is only one (non-contributing) example of this type. Typical characteristics of the Spanish Ranch style include stucco (or buff brick) exteriors, Spanish tile roofs, recessed front porches; and exposed roof rafters or beams. Residences constructed by LABPL in the Spanish Ranch style are concentrated along Ash and Birch streets. Additionally, certain employees' residences constructed by Southern California Edison along Cherry Street also exhibit characteristics of the Spanish Ranch style.

The City of Boulder City strongly encourages contacting the Community Development Department prior to finalizing a design for a project on a historic property, whether it is considered contributing or non-contributing. A representative of the Department is available to meet with the property owner or owner's representative to review proposed designs and can assist the applicant with meeting the City's compliance goals and objectives.



SPANISH RANCH STYLE

CONTRIBUTING SPANISH RANCH STYLE PROPERTIES WITHIN THE BOULDER CITY HISTORIC DISTRICT*

STREET	BUILDER OR TYPE	STREET NUMBER
Ash Street	Six Companies Engineers' Housing	405, 409, 414 , 417, 421, 433, 508-510, 512-514, 516-518, 520-522, 524-526
Ash Street	LA Bureau of Power & Light Employees' Housing	504
Birch Street	LA Bureau of Power & Light Employees' Housing	417, 418, 421, 426 , 429, 430, 433, 438, 503, 504, 507, 508, 511, 515, 519, 520, 523, 524, 527, 528, 531, 532, 535, 536, 539, 540
Cherry Street	Southern California Edison Company Employees' Housing	503, 527, 531

***Bolded Properties are Recommended Individually Eligible for listing in the NRHP.**

SPANISH RANCH STYLE CHARACTER DEFINING FEATURES

The list and images below include typical expressions of the Spanish Ranch style as it exists within the District and is not intended to be an exhaustive list of every variation in the style. Property owners are encouraged to compare the historic features of their property to the Guidelines when planning for rehabilitation projects.

Massing: One story with longest elevation running parallel to the street; L-shaped or square plan; wrap-around screen porch on Six Companies models

Roof: Low- to moderately-sloped hipped roof; hipped; hip-and-gable; early Ranch style open eaves with exposed rafter ends; shallow eave overhang at gable ends with moderate eave overhang at roof slope; Spanish tile or asbestos cement tile; LABPL single-family models have decorative trim at gable ends

Façade: Asymmetrical; porch is recessed under eave and supported by thin wood posts; occasional recessed sun porch; wrap-around screen porch; entrances are recessed under porch and face the street

Walls: Stucco; horizontal wood siding

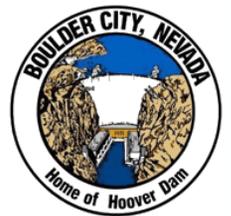
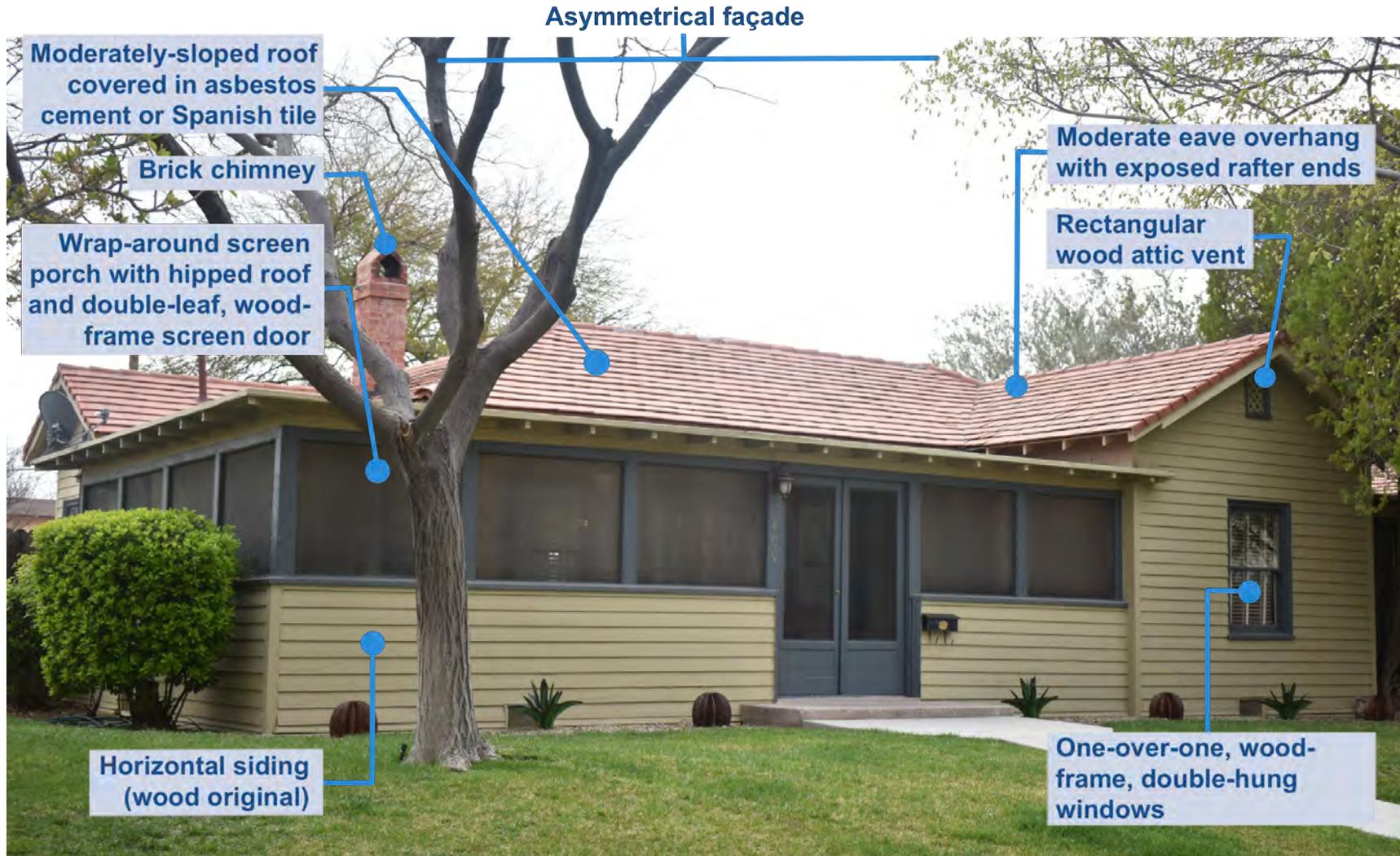
Fenestration: Double-hung, wood-frame sash windows, sometimes in pairs or corner configurations; round window with rotating panel for opening; some LABPL models display recessed window openings with flat heads, radiused (also known as "bullnose") sides, and tapered sill openings. In these same models, door openings have flat heads and radiused sides.

Architectural Details: Porthole window; decorative trim at gable ends at LABPL models; "X" bracing at porch railing and slate stone at front porch of Southern California Edison models

Garages: Detached shared garages on Birch and Cherry streets accessed via alley

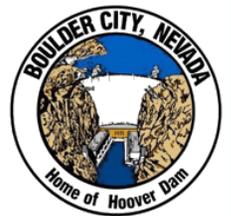
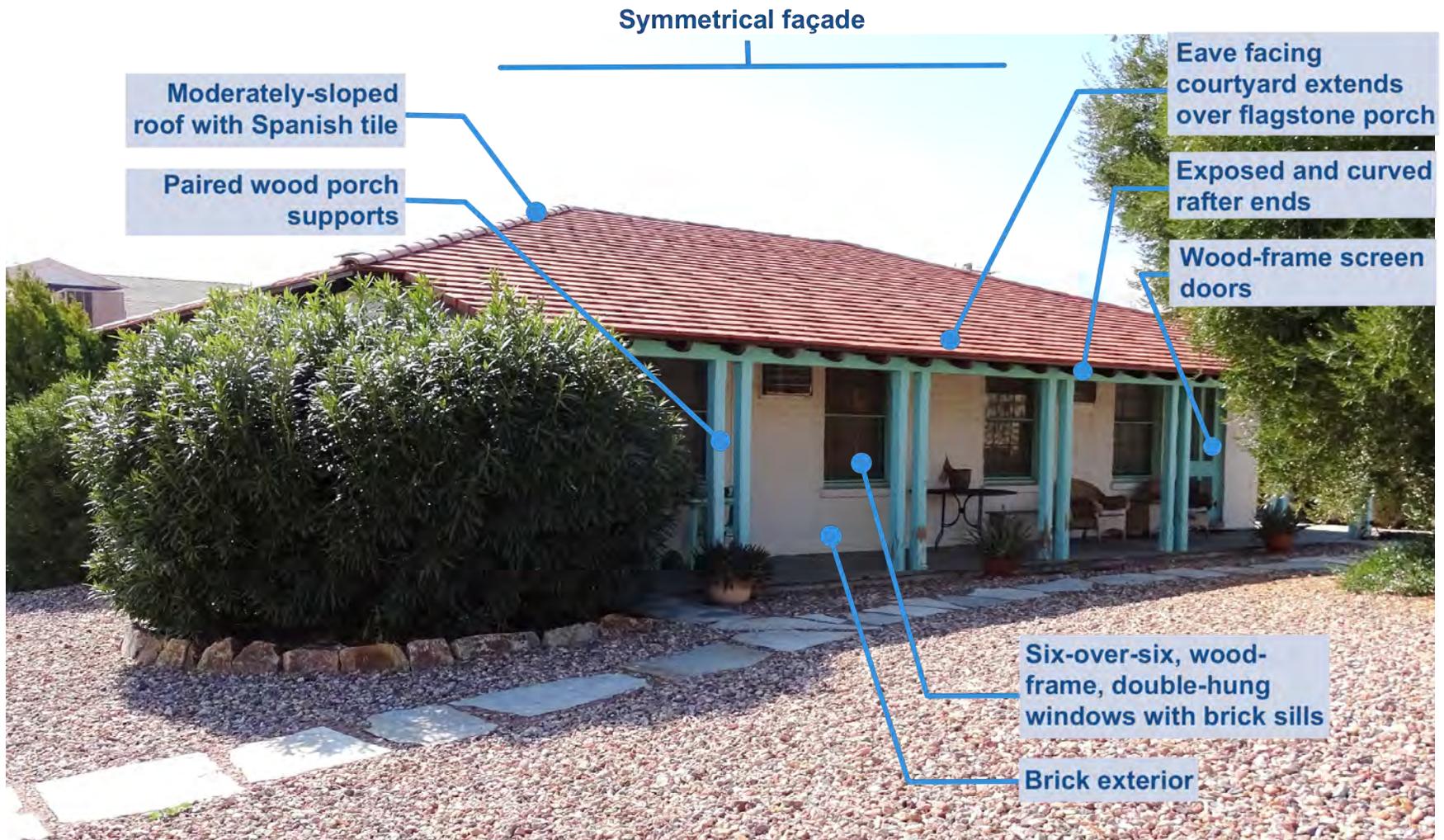


**SPANISH RANCH STYLE
SINGLE-FAMILY/SIX COMPANIES ENGINEERS' HOUSING**



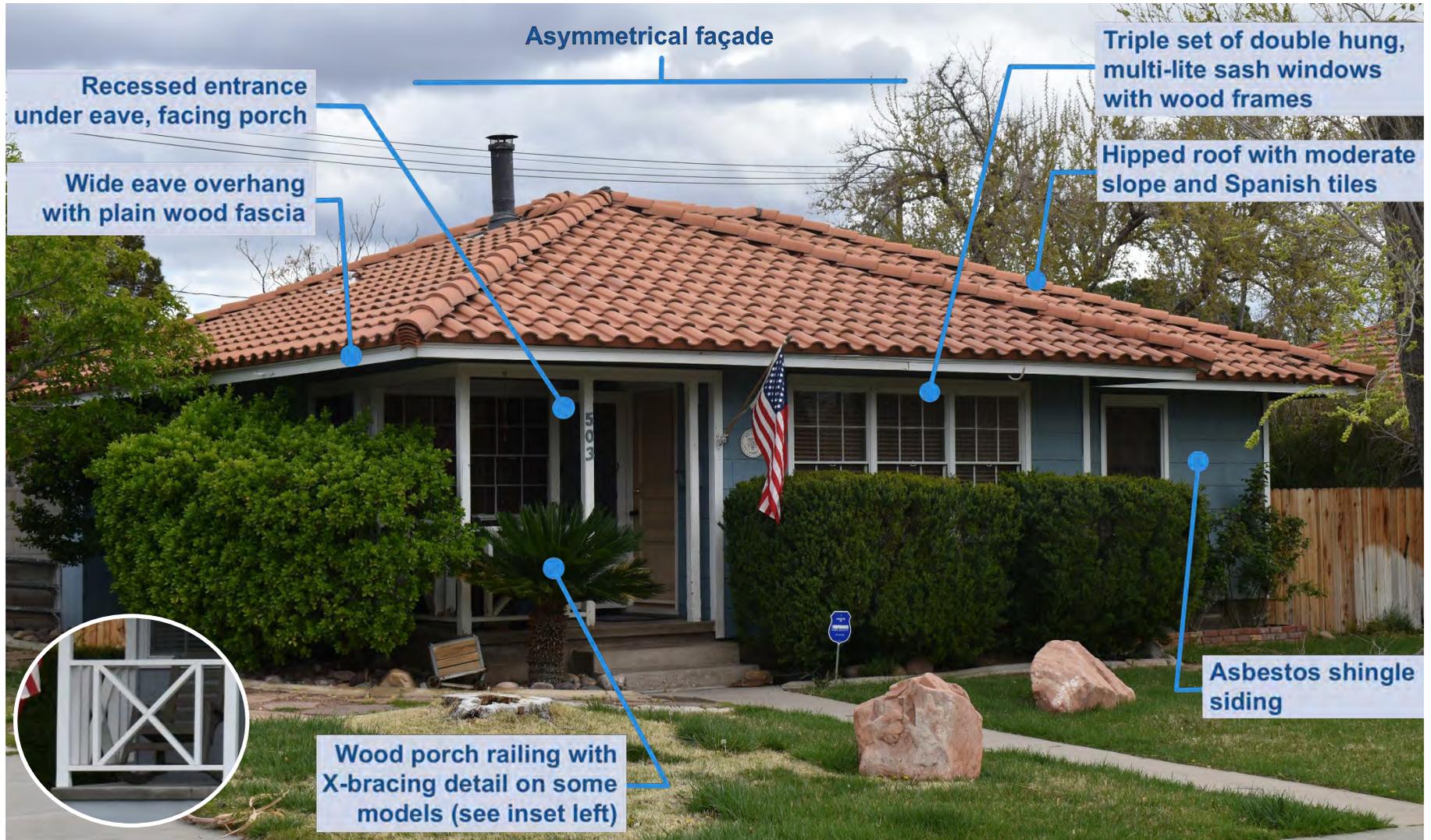
409 ASH STREET, WEST FAÇADE: INDIVIDUALLY ELIGIBLE

SPANISH RANCH STYLE DUPLEX/LA BUREAU OF POWER AND LIGHT



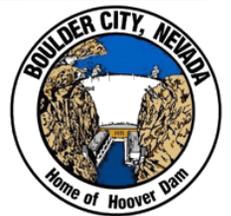
524 ASH STREET, WEST (COURTYARD) FACADE: INDIVIDUALLY ELIGIBLE

**SPANISH RANCH STYLE
SINGLE-FAMILY/SOUTHERN CALIFORNIA EDISON EMPLOYEES'**



503 CHERRY STREET, WEST FAÇADE: INDIVIDUALLY ELIGIBLE

SPANISH RANCH STYLE SINGLE FAMILY/LA BUREAU OF POWER AND LIGHT



438 BIRCH STREET, EAST FAÇADE: INDIVIDUALLY ELIGIBLE

DESIGN GUIDELINES FOR CONTRIBUTING PROPERTIES CONSTRUCTED IN THE SPANISH REVIVAL STYLE

The Boulder City Historic District is made up of both contributing and non-contributing properties. Contributing properties were constructed between 1931 and 1945 and continue to add to the historic integrity or architectural qualities that define, or are directly associated with, the significance of the District because the property has not had major alterations and/or additions. These Design Guidelines are specifically for contributing properties that exhibit the Spanish Revival Style.

Designated historic districts are significant as a collective whole and must be protected in their entirety. Therefore, additions and alterations to contributing properties are evaluated based on the proposed work's compatibility with the contributing property itself, as well as the District's historic architectural and urban context. Generally speaking, remaining historic materials should not be damaged by new construction/alterations; new work should be differentiated from the old; and work should not adversely affect the character-defining features of the contributing property and/or the overall District.

SPANISH REVIVAL STYLE DESCRIPTION

The Spanish Revival style gained popularity during the Eclectic Movement in American architecture, occurring from about 1880 to 1940s, and drew inspiration from the domestic architecture of various European countries. In America, the style was most popular in the southwest, and from about 1915 to 1940. Reclamation architects used the Spanish Revival style for the construction of employee housing and the main civic buildings in Boulder City. In the District, common characteristics of the Spanish Revival style include a low-pitched roof with little-to-no eave overhang, red tile roof coverings, one or more prominent arches placed above a principal entrance, stucco wall surfaces, and an asymmetrical façade. Commercial examples have arcaded canopies with plain or decorative parapets and symmetrical facades. Spanish Revival residences in the District were constructed by Reclamation, including employees' and engineers' housing, Los Angeles Bureau of Power and Light (LABPL), Six Companies, and one by Babcock and Wilcox. Residences constructed by Reclamation in the Spanish Revival style are located primarily on Denver, Colorado, Park, and Utah streets, and Nevada Way. In an effort to foster a cohesive community appearance some later employee housing constructed by other companies in the District also adopted some characteristics of the Spanish Revival style. For example, single-family residences constructed by the LABPL along Birch Street from Railroad Avenue to Nevada Way exhibit the characteristic red tile roofs and stucco exteriors that are hallmarks of the Spanish Revival (and Spanish Ranch) style. Commercial examples of the Spanish Revival style are located primarily along Nevada Way and Wyoming Street, and public and institutional examples are located throughout the District.

The City of Boulder City strongly encourages contacting the Community Development Department prior to finalizing a design for a project on a historic property, whether it is considered contributing or non-contributing. A representative of the Department is available to meet with the property owner or owner's representative to review proposed designs and can assist the applicant with meeting the City's compliance goals and objectives.

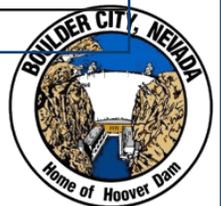


SPANISH REVIVAL STYLE

CONTRIBUTING SPANISH REVIVAL STYLE PROPERTIES WITHIN THE BOULDER CITY HISTORIC DISTRICT*

STREET	BUILDER OR TYPE	STREET NUMBER
Arizona Street	Public/Private Builder	1005
California Avenue	Public/Private Builder	401
Colorado Street	Bureau of Reclamation Employees' Housing	1300
Denver Street	Bureau of Reclamation Department Head Housing	1300
Denver Street	Bureau of Reclamation Employees' Housing	1301, 1322, 1330, 1338
Denver Street	Bureau of Reclamation Engineers' Housing	1342, 1350
Denver Street	Power Operators' Properties	1256, 1260
Denver Street	Six Companies Residential/Operational	1411
Hillside Drive	Babcock and Wilcox Housing	3
Lodge Road	Six Companies Residential/Operational	1400
Nevada Way	Bureau of Reclamation Department Head Housing	312
Nevada Way	Bureau of Reclamation Employees' Housing	308, 324
Nevada Way	Bureau of Reclamation Engineers' Housing	304
Nevada Way	Commercial	524, 546, 550
Nevada Way	Institutional	600
Park Street	Bureau of Reclamation Engineers' Housing	706, 722, 726
Park Street	Institutional	1200 (Reclamation Admin Building) , 1200 (Reclamation Annex)
Railroad Avenue	Bureau of Reclamation Operations	300
Utah Street	Bureau of Reclamation Employees' Housing	315
Utah Street	Private Builder	311
Wyoming Street	Commercial	1320, 1340

***Bolded Properties are Recommended Individually Eligible for listing in the NRHP.**



SPANISH REVIVAL STYLE CHARACTER DEFINING FEATURES

The list and images below include typical expressions of the Spanish Revival style as it exists within the District and is not intended to be an exhaustive list of every variation in the style. Property owners are encouraged to compare the historic features of their property to the Guidelines when planning for rehabilitation projects.

Massing: One story is most common for residential examples, and 1-3 stories for public, institutional, and commercial examples¹

Roof: Spanish tile shingles; low-pitched with little-to-no eave overhang; rafters can be exposed or hidden, depending upon model; gabled, hipped, or a combination of 2-3 types; some models have side-gabled roofs with parapet walls with incorporated chimneys; commercial examples have a flat roof with decorative or flat parapet and shed roof canopy

Façade: Asymmetrical façade for residential examples; symmetrical facade for public and commercial examples; entrances can face the street with no porch roof or canopy, or on an enclosed projecting entrance foyer; entrances can be recessed into the main facade

Walls: Stucco; brick (Flemish bond); combination of stucco and brick

Fenestration: Multi-lite wood casement windows, sometimes in pairs or triplets; double-hung windows are less common; commercial examples may have large storefront windows; decorative carved doors and/or door surrounds

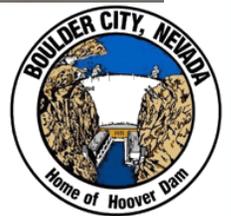
Architectural Details: Prominent arches or arch details placed above main entry door, principal window(s), or at porch opening; decorative tile vents; elevated chimney tops, sometimes with decorative tile caps; screen porch; commercial canopies extend over the sidewalk; commercial front façades built to property line

Garages: Spanish Revival homes within the district were not typically constructed with individual garages; however, three original shared garages remain; commercial, public, and institutional properties have varied workshop and storage amenities

¹Two-story examples exist for this style but are rare; however, examples with below-grade attached garages (see 1260 Denver Street) and homes adapting to the topography with attached garage and living space (see 3 Hillside Drive) exist. Both examples are shown below.



SPANISH REVIVAL STYLE BUREAU OF RECLAMATION OPERATIONS



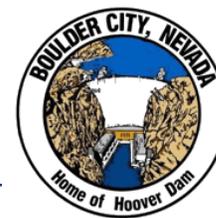
300 RAILROAD AVENUE, WEST FAÇADE: INDIVIDUALLY ELIGIBLE

**SPANISH REVIVAL STYLE
SINGLE FAMILY/BABCOCK AND WILCOX**



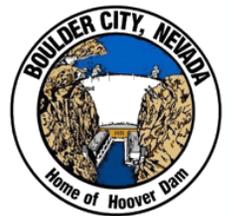
3 HILLSIDE DRIVE, SOUTH FAÇADE: CONTRIBUTING

**SPANISH REVIVAL STYLE
SINGLE FAMILY/BUREAU OF RECLAMATION DEPARTMENT HEAD HOUSING**



1300 DENVER STREET, SOUTH FAÇADE: CONTRIBUTING

SPANISH REVIVAL STYLE
SINGLE FAMILY/POWER OPERATORS PROPERTIES



1260 DENVER STREET, SOUTH FAÇADE: CONTRIBUTING

SPANISH REVIVAL STYLE SINGLE FAMILY/RECLAMATION ENGINEER'S HOUSING



1342 DENVER STREET, SOUTH FAÇADE: CONTRIBUTING

**SPANISH REVIVAL STYLE
SINGLE FAMILY/RECLAMATION EMPLOYEES' HOUSING**



1322 DENVER STREET, SOUTH FAÇADE: INDIVIDUALLY ELIGIBLE

SPANISH REVIVAL STYLE COMMERCIAL

Low-pitched canopy roof
with exposed rafter ends

Symmetrical façade

Decorative
parapet wall



Entrances recessed
under arcaded canopy

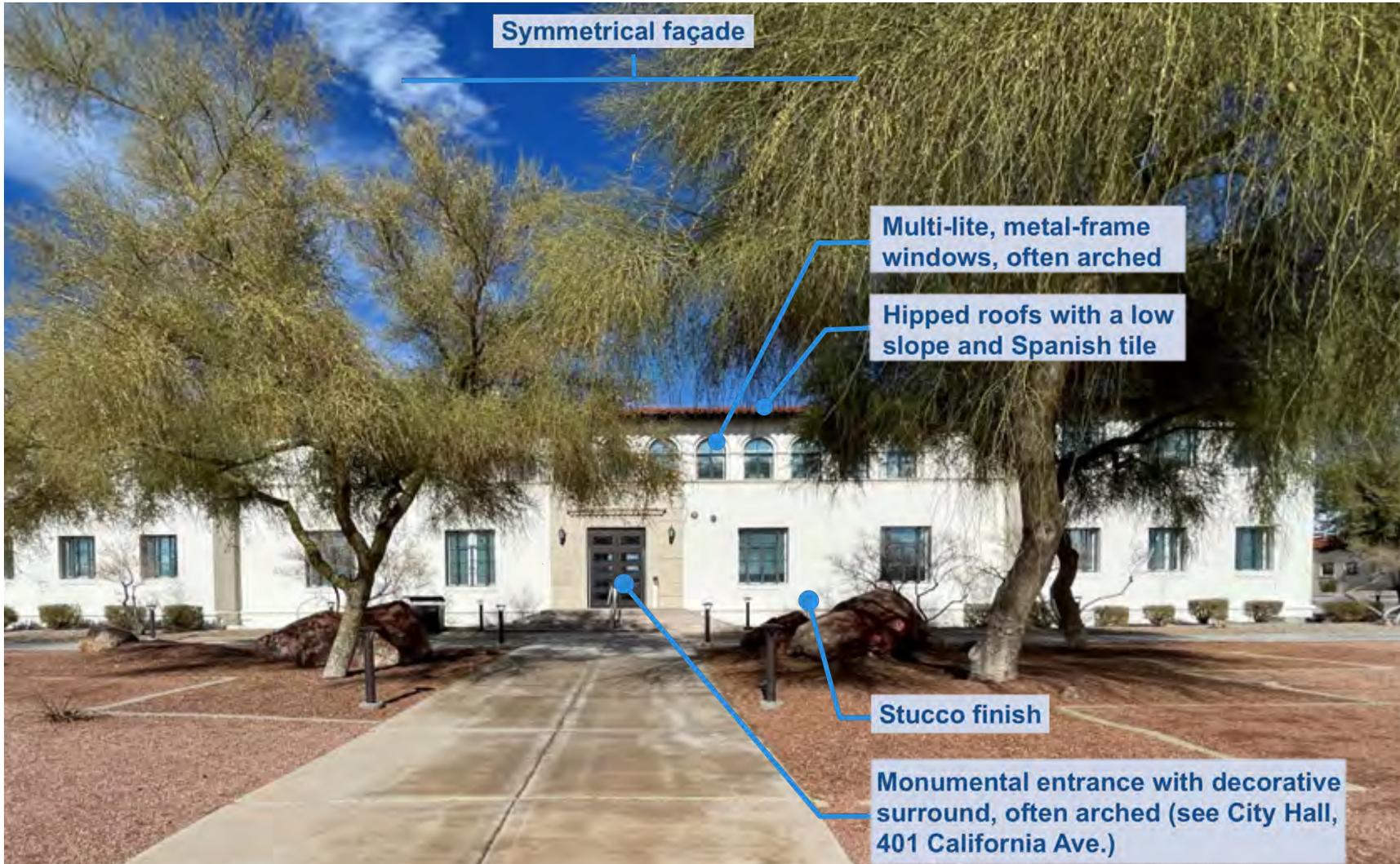
Arcaded canopy
extending over sidewalk

Front façade built
to property line



550 NEVADA WAY, SOUTH FAÇADE: INDIVIDUALLY ELIGIBLE

SPANISH REVIVAL STYLE RECLAMATION ADMINISTRATION BUILDING (INSTITUTIONAL)



1200 PARK STREET, SOUTH FAÇADE: INDIVIDUALLY ELIGIBLE

DESIGN GUIDELINES FOR CONTRIBUTING PROPERTIES CONSTRUCTED IN THE NATIONAL FOLK STYLE

The Boulder City Historic District is made up of both contributing and non-contributing properties. Contributing properties were constructed between 1931 and 1945 and continue to add to the historic integrity or architectural qualities that define, or are directly associated with, the significance of the District because the property has not had major alterations and/or additions. These Design Guidelines are specifically for contributing properties that exhibit the National Folk Style.

Designated historic districts are significant as a collective whole and must be protected in their entirety. Therefore, additions and alterations to contributing properties are evaluated based on the proposed work's compatibility with the contributing property itself, as well as the District's historic architectural and urban context. Generally speaking, remaining historic materials should not be damaged by new construction/alterations; new work should be differentiated from the old; and work should not adversely affect the character-defining features of the contributing property and/or the overall District.

NATIONAL FOLK STYLE DESCRIPTION

The National Folk style was most common for residential construction in the United States from about 1850 until 1930. This style was typically used for mass-planned houses that were relatively simple to construct and evolved after the expansion of the railroad that made the transport of building materials across the U.S. easier and less expensive. In the District, the National Folk style was initially popular for the construction of temporary employee housing built by both Reclamation and Six Companies. During World War II, the Los Angeles Bureau of Power and Light (LABPL) also utilized the National Folk style in the construction of single-family cottages to meet the increased employment needs brought about by the war effort. In the District, National Folk style houses typically consist of wood-frame structures built with light balloon or braced framing and sheathed in horizontal wood siding and/or stucco. Houses constructed in this style by Reclamation were historically located on consecutive lots on Avenues B, K, and L, and Colorado and Arizona streets. National Folk style housing constructed by Six Companies was concentrated in the area bounded by Wyoming Street on the north, New Mexico Street on the south, Avenue B on the west, and Utah Street on the east; while housing constructed by LABPL was located adjacent to existing LABPL housing along Birch Street from Railroad Avenue to Nevada Highway.

The City of Boulder City strongly encourages contacting the Community Development Department prior to finalizing a design for a project on a historic property, whether it is considered contributing or non-contributing. A representative of the Department is available to meet with the property owner or owner's representative to review proposed designs and can assist the applicant with meeting the City's compliance goals and objectives.



NATIONAL FOLK STYLE

CONTRIBUTING NATIONAL FOLK STYLE PROPERTIES WITHIN THE BOULDER CITY HISTORIC DISTRICT*

STREET	BUILDER	STREET NUMBER
Avenue B	Six Co's Employee Housing	615, 619, 651
Avenue B	Reclamation Engineer Temp Housing	402, 420, 424
Avenue C	Six Co's Employee Housing	608, 611, 619, 632, 635, 636, 640 , 644, 659, 660, 664
Avenue D	Six Co's Employee Housing	608, 631, 639, 640, 644, 647, 648, 656, 664
Avenue F	Six Co's Employee Housing	607, 624, 636, 639, 643, 648, 652
Avenue I	Six Co's Employee Housing / Operational	421
Avenue K	Reclamation Engineer Temp Housing	505
Arizona Street	Reclamation Engineer Temp Housing	504, 508, 512, 520
Arizona Street	LA Bureau of Power & Light Cottage	1608, 1612, 1616, 1620
Ash Street	LA Bureau of Power & Light Cottage	400
Ash Street	Six Co's Engineer Housing	429
Birch Street	LA Bureau of Power & Light Cottage	405, 411
California Avenue	Six Co's Employee Housing	604, 612, 615, 616, 619, 624, 627, 628, 632, 635, 640
Colorado Street	Reclamation Engineer Temp Housing	1319, 1323
Denver Street	Reclamation Employee Housing	1354
Park Place	Six Co's Employee Housing / Operational	705
Park Street	Reclamation Employee Housing	730
Park Street	Reclamation Engineer Temp Housing	734
Railroad Avenue	LA Bureau of Power & Light Cottage	1501, 1505
Utah Street	Reclamation Employee Housing	507

***Bolded Properties are Individually Eligible for listing in the NRHP.**



NATIONAL FOLK STYLE CHARACTER DEFINING FEATURES

The list and images below include typical expressions of the National Folk style as it exists within the District and is not intended to be an exhaustive list of every variation in the style. Property owners are encouraged to compare the historic features of their property to the Guidelines when planning for rehabilitation projects.

Massing: Small, one-story homes with L-shaped plans including front porch¹

Roof: Gabled with a moderate slope; hidden rafters on primary roof; open rafters on porch; composition or asphalt shingle covering; moderate-eave overhang; attic vents at gable ends (see architectural details below); eave brackets at front gable on some models; hipped or gabled porch roof

Façade: Asymmetrical with main entrances facing the street or driveway; L-shaped, projecting screen porch with hipped roof, extending length of one side and across half of front; entrances on screen porch can be off-center facing street, or facing a small porch

Walls: Stucco with horizontal wood siding at the porch, or all horizontal wood siding

Fenestration: Windows are wood frame, double hung, either single or in pairs, or multi-lite casement windows; all window types (not necessarily sizes) on the house match

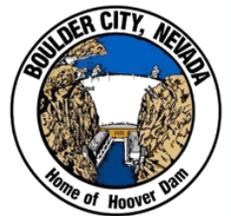
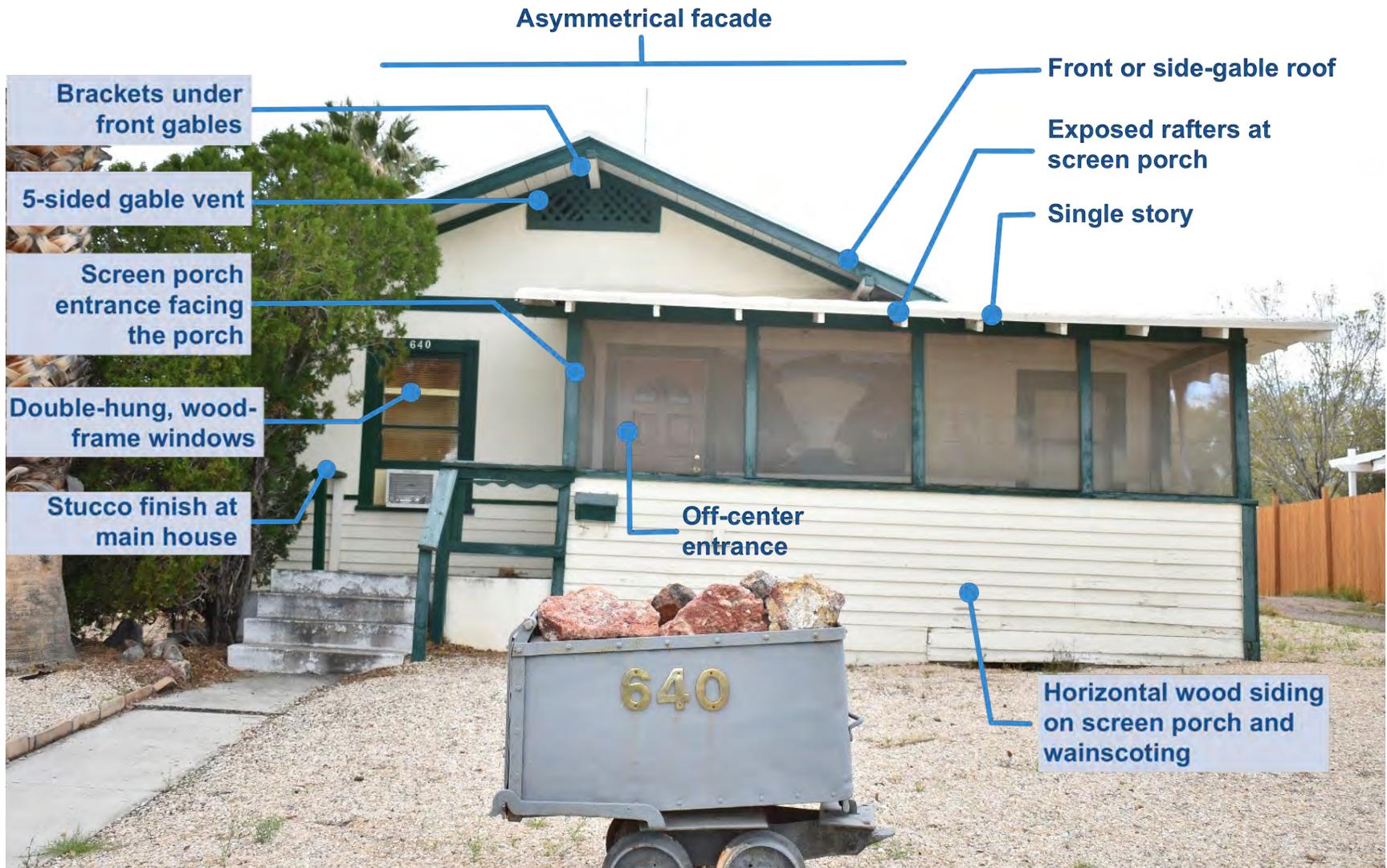
Architectural Details: Attic vent at gable ends—five-sided opening with wood lattice cover or square with louvers

Garages: Garages were not original to most homes within the District; however, many were constructed within the District's period of significance and should be considered for preservation

¹ Two-story National Folk style homes were constructed (e.g., 623 California Avenue); however, there are no contributing examples.



**NATIONAL FOLK STYLE
SINGLE FAMILY/SIX COMPANIES EMPLOYEE'S RESIDENCE**



**NATIONAL FOLK STYLE
SINGLE FAMILY/RECLAMATION ENGINEERS' TEMPORARY HOUSING**



Gable roof with moderate eave overhang and exposed rafter ends (composition shingles original)

Wraparound porch with hipped roof and off-center entrance facing the street (screened openings and screen door original)

Gable vent

Six-over-one double-hung windows

Horizontal siding (wood original)



734 PARK STREET, SOUTHWEST FAÇADE: CONTRIBUTING

NATIONAL FOLK STYLE
SINGLE FAMILY/RECLAMATION EMPLOYEE'S HOUSING



730 PARK STREET, SOUTHWEST FAÇADE: CONTRIBUTING

NATIONAL FOLK STYLE
SINGLE FAMILY/LOS ANGELES BUREAU OF POWER & LIGHT COTTAGE



Recessed entrance
with narrow porch

Gable roof with
moderate eave
overhang and plain
fascia

Gable vent

Horizontal
wood siding

Multi-lite
casement
windows



411 BIRCH STREET, SOUTHWEST FAÇADE: CONTRIBUTING