

Residential Improvements



A Guide for Your Project

PURPOSE

This guide is intended to make your navigation through the process of obtaining a building permit and the construction of your project an enjoyable experience.

This guide is intended for residential interior remodeling, residential room additions and residential detached accessory buildings.

The sample plans and sample details contained in this guide are for your reference in creating your very own customized construction documents.

Copying of the sample plans and details onto your construction documents is prohibited by United States Copyright Law.

For additional information regarding this guide, or for other project types, please contact the Boulder City Building and Safety Division.



City of Boulder City
Community Development Department
Building and Safety Division
401 California Avenue
Boulder City, Nevada 89005-2600
702-293-9282 (Main Line)

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SUBMITTAL REQUIREMENTS

Every construction project which requires a building permit must be represented by complete plans and related documents which clearly show all components necessary to comply with the code requirements to the satisfaction of the Building Official.

Plans and related documents must be of sufficient nature to clearly show the project in its entirety with emphasis on the following items:

- Structural integrity
- Life safety assurance
- Architectural barriers
- Building code compliance
- Definition of the scope of work

The items addressed in this handout are the minimum recommended standards which are required before a plan review is initiated. Not all items addressed will apply to every project and additional items may be required for more complex projects.

Please contact our friendly staff at the Building and Safety Division whenever you need assistance regarding this guide. We may be reached at 702-293-9282.



INTERIOR REMODELING



HELPFUL TIPS

The submittal documents should tell the permit technician and the plan reviewer a brief story about what you intend to accomplish. Please keep this in mind when preparing the plans and other documents.

Interior renovations, regardless of the age of the home, should be evaluated for the presence of asbestos and lead paint.

The following sample plans are the minimum required for submittal to the Building and Safety Division for plan review.

INTERIOR REMODELING

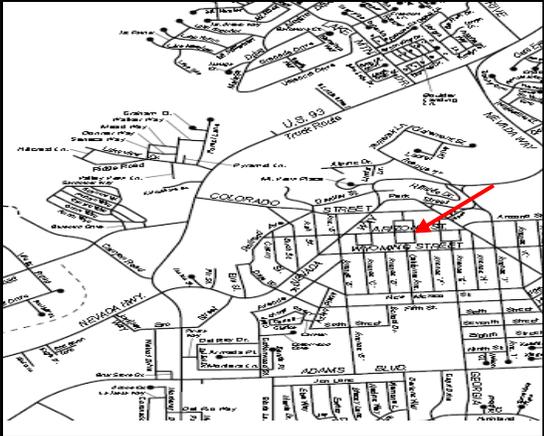
COVER SHEET

INTERIOR REMODEL - MASTER BATH

Smith Residence
401 California Avenue
Boulder City, NV 89005

↑
N

LOCATION MAP



DESIGN CRITERIA

CODES:
0000 International Residential Code
0000 Uniform Plumbing Code
0000 Uniform Mechanical Code
0000 National Electrical Code
Local Amendments

SQUARE FOOTAGE: 60
BUILDING HEIGHT: n/a
OCCUPANCY: SFR
CONSTRUCTION TYPE: V-B
SEISMIC DESIGN CATEGORY: D
WIND LOAD: 90 MPH

Plans prepared by owner-builder
John Smith
Phone: 293-XXXX

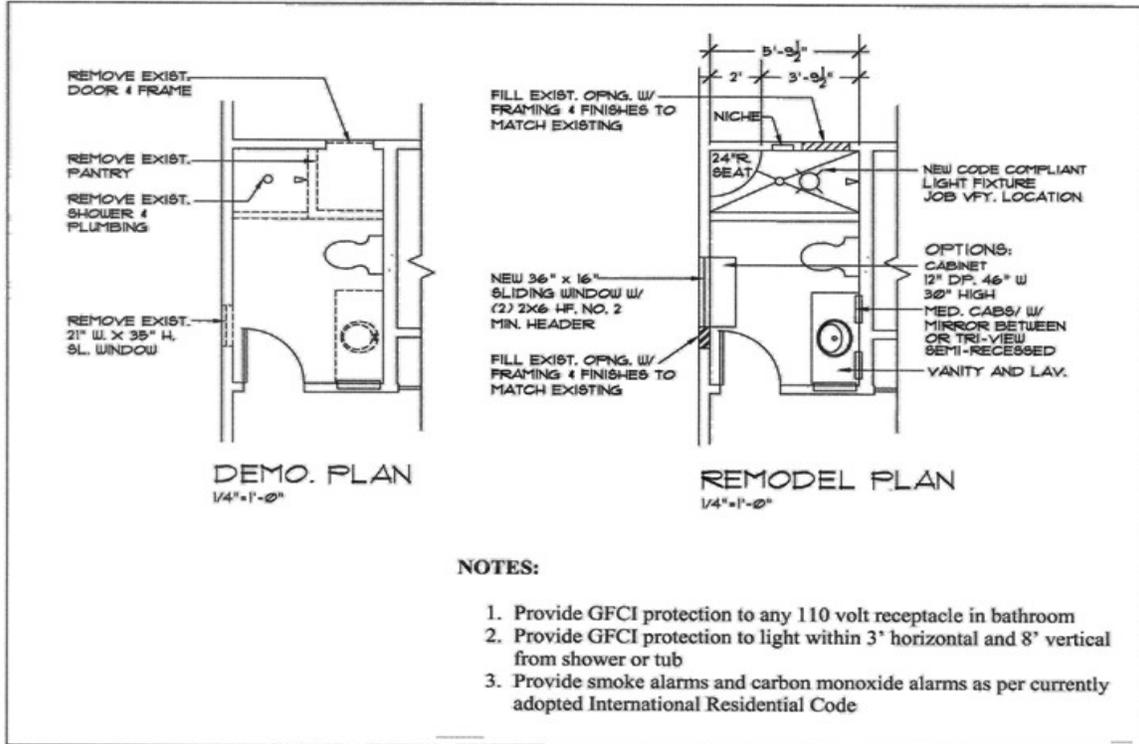
A title block identifying the design professional or owner-builder with contact information must be on the cover sheet.

The cover sheet shall contain the following items:

1. Project identification, address and location map
2. Occupancy group
3. Type of construction
4. Seismic design category
5. Wind loads
6. Code editions used
7. Height and number of stories
8. Square footage
9. North arrow

INTERIOR REMODELING

FLOOR PLAN



The floor plan shall contain the following items:

1. Indicate all floors
2. Indicate all rooms and identify their use and dimensions
3. Indicate all doors, windows and other openings
4. Indicate stairs, if applicable
5. Identify any special fire separations
6. Provide window and door schedule

A Site Plan is required if the interior remodel project consists of any work inside the garage which would result in the loss of vehicle parking.

ROOM ADDITION



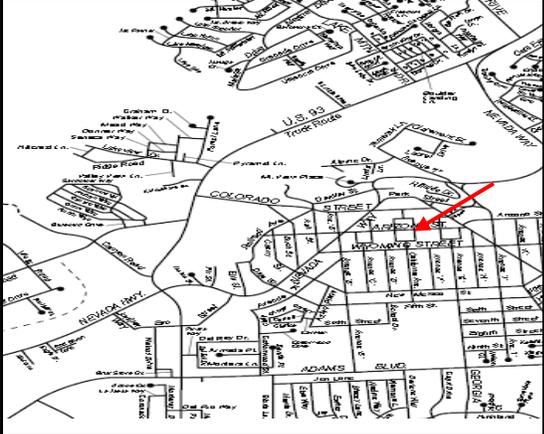
HELPFUL TIPS

The submittal documents should tell the permit technician and the plan reviewer a brief story about what you intend to accomplish. Please keep this in mind when preparing the plans and other documents.

The following sample plans are the minimum required for submittal to the Building and Safety Division for plan review.

ROOM ADDITION

COVER SHEET

ROOM ADDITION	
Smith Residence 401 California Avenue Boulder City, NV 89005	
LOCATION MAP	DESIGN CRITERIA
↑ N	CODES: 0000 International Residential Code 0000 Uniform Plumbing Code 0000 Uniform Mechanical Code 0000 National Electrical Code Local Amendments
	SQUARE FOOTAGE: 60 BUILDING HEIGHT: n/a OCCUPANCY: SFR CONSTRUCTION TYPE: V-B SEISMIC DESIGN CATEGORY: D WIND LOAD: 90 MPH
	Plans prepared by owner-builder <i>John Smith</i> Phone: 293-XXXX

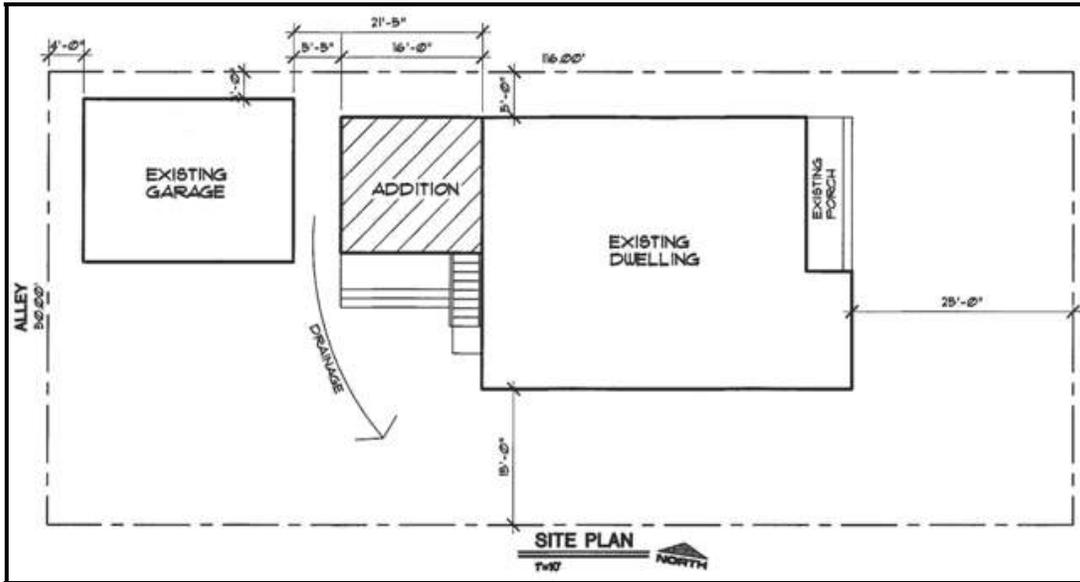
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5. Wind loads
6. Code editions used
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8. Square footage
9. North arrow

ROOM ADDITION

SITE PLAN

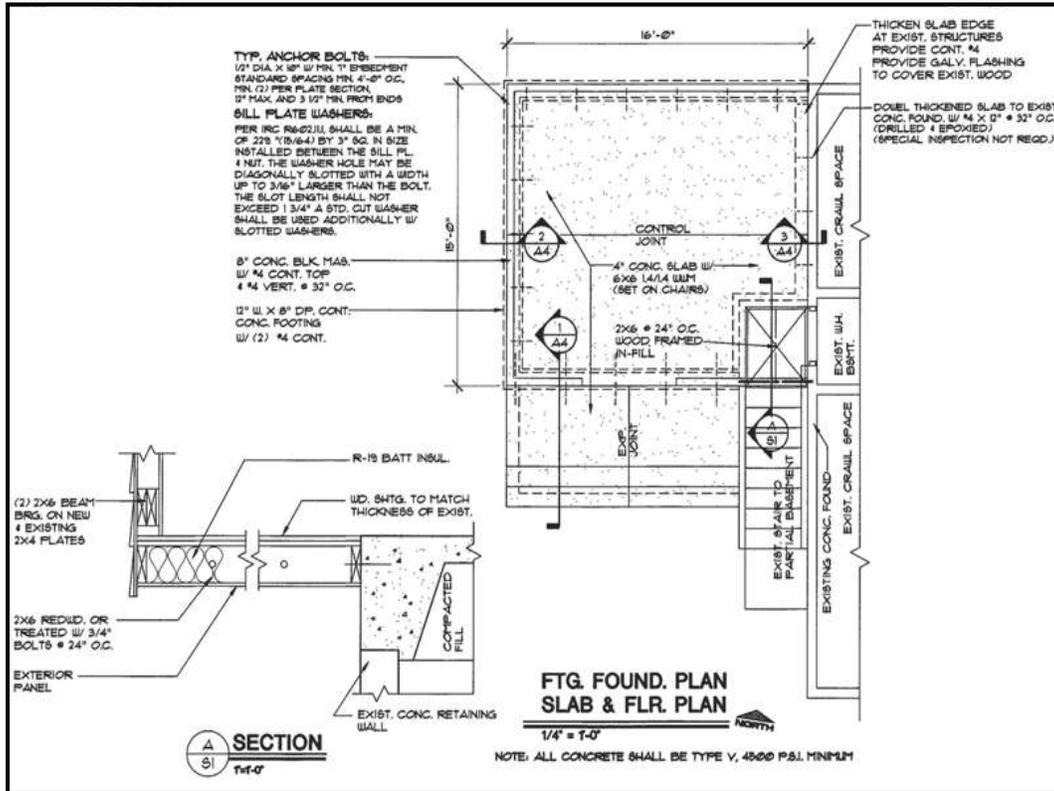


The site plan shall contain the following items:

1. Indicate proposed, new and existing structures
2. Indicate all property lines with dimensions
3. Indicate all streets and easements
4. Indicate all setback dimensions
5. Indicate all utilities on the site and the points of connection
6. Indicate provisions for vehicle parking
7. Indicate drainage information
8. North arrow

ROOM ADDITION

FOUNDATION PLAN

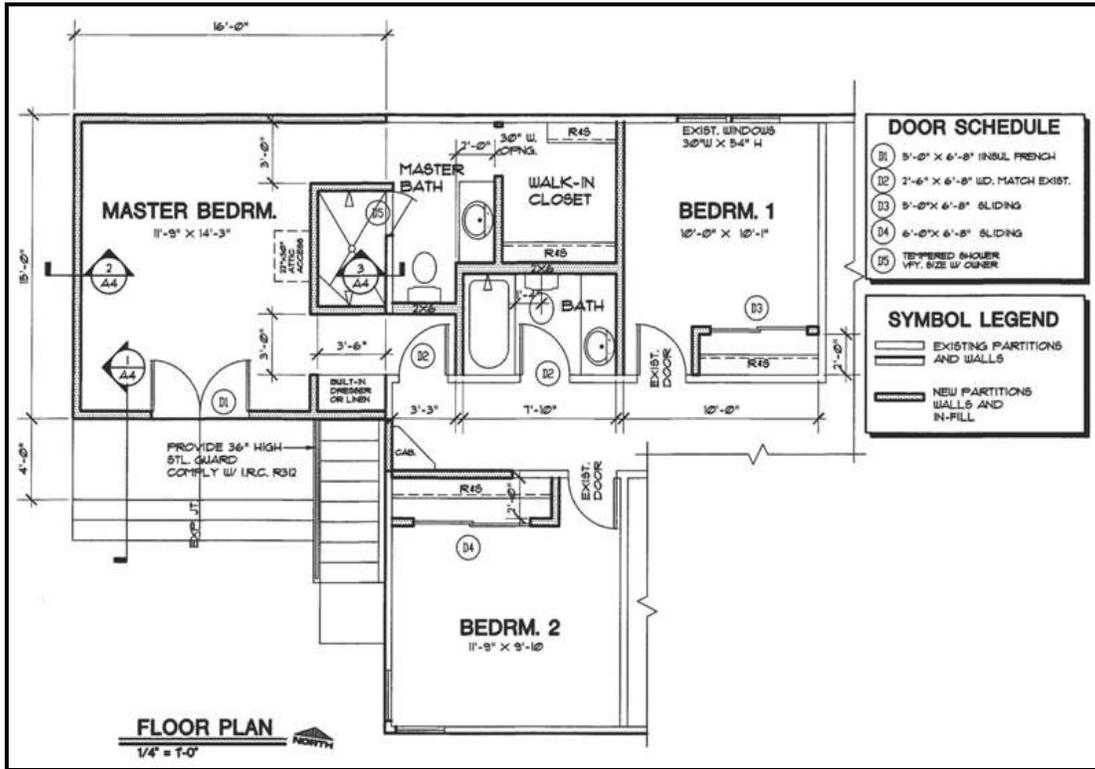


The foundation plan shall contain the following items:

1. Indicate all foundations and footings
2. Indicate all dimensions and thicknesses
3. Indicate all materials, strengths and reinforcing
4. Indicate all imbedded items such as anchor bolts and hold downs
5. Reference the soils report, if applicable

ROOM ADDITION

FLOOR PLAN

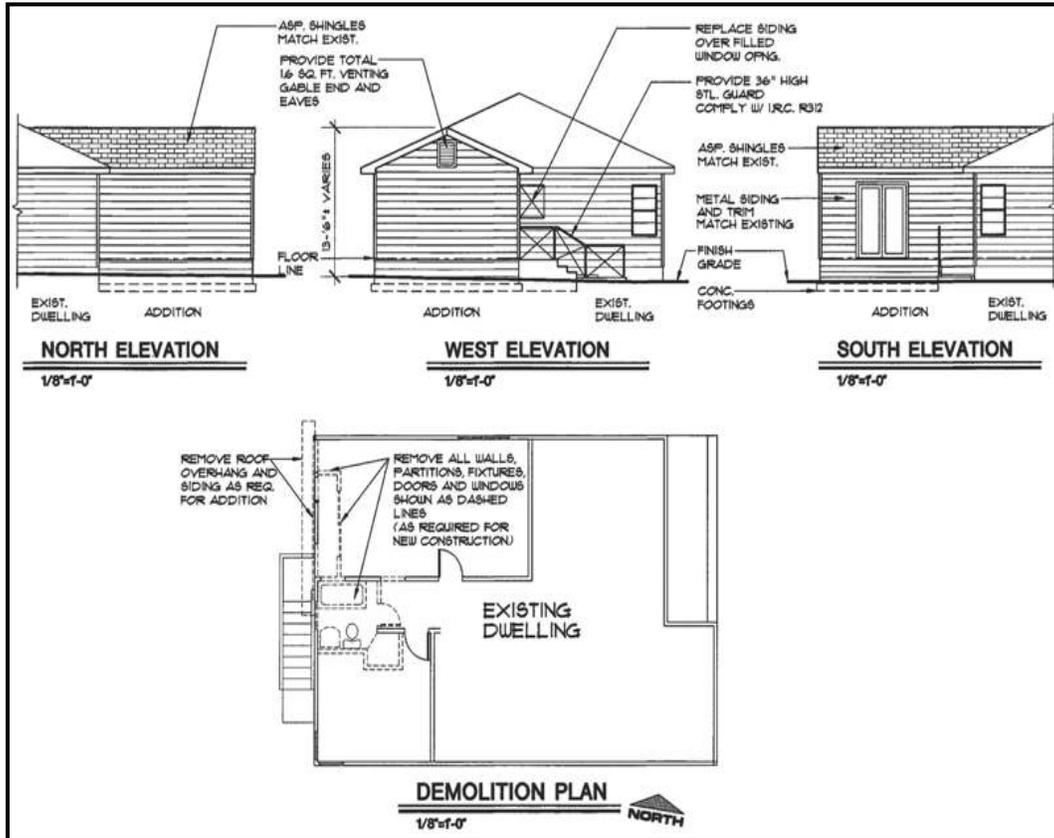


The floor plan shall contain the following items:

1. Indicate all floors
2. Indicate all rooms and identify their use and dimensions
3. Indicate all doors, windows and other openings
4. Indicate stairs, if applicable
5. Identify any special fire separations
6. Provide window and door schedule

ROOM ADDITION

EXTERIOR ELEVATIONS

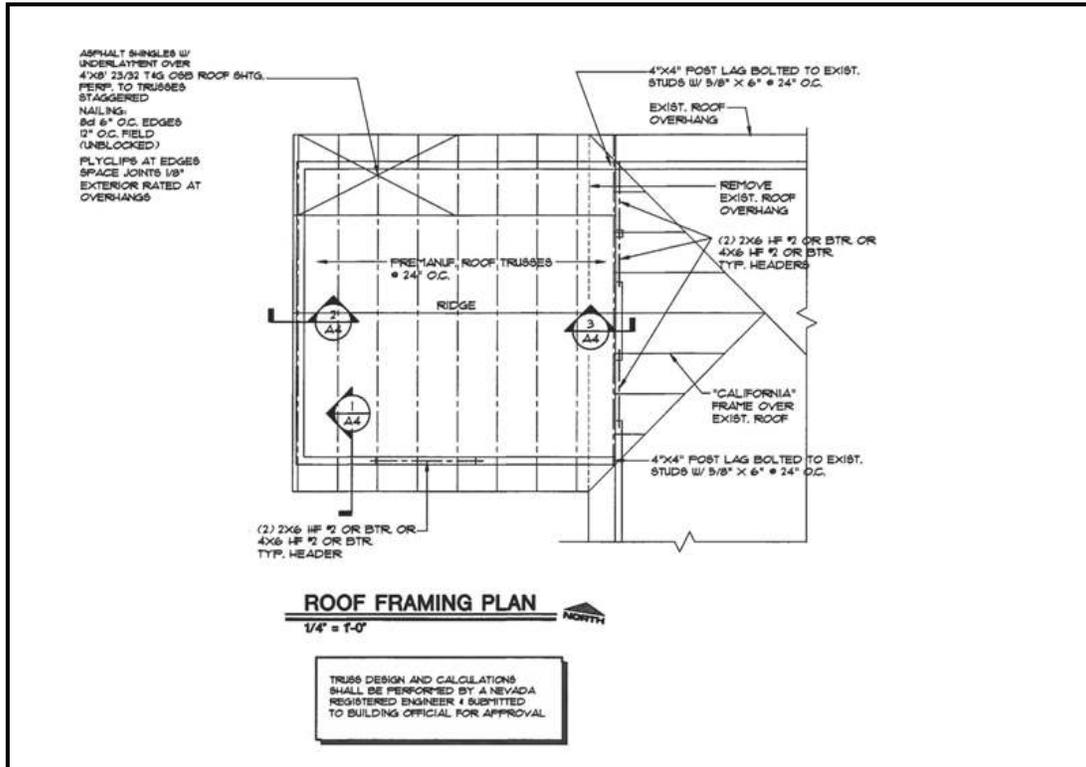


The exterior elevations shall contain the following items:

1. Show all views
2. Indicate all openings
3. Indicate all vertical dimensions
4. Identify all finish materials

ROOM ADDITION

FRAMING AND ROOFING PLANS



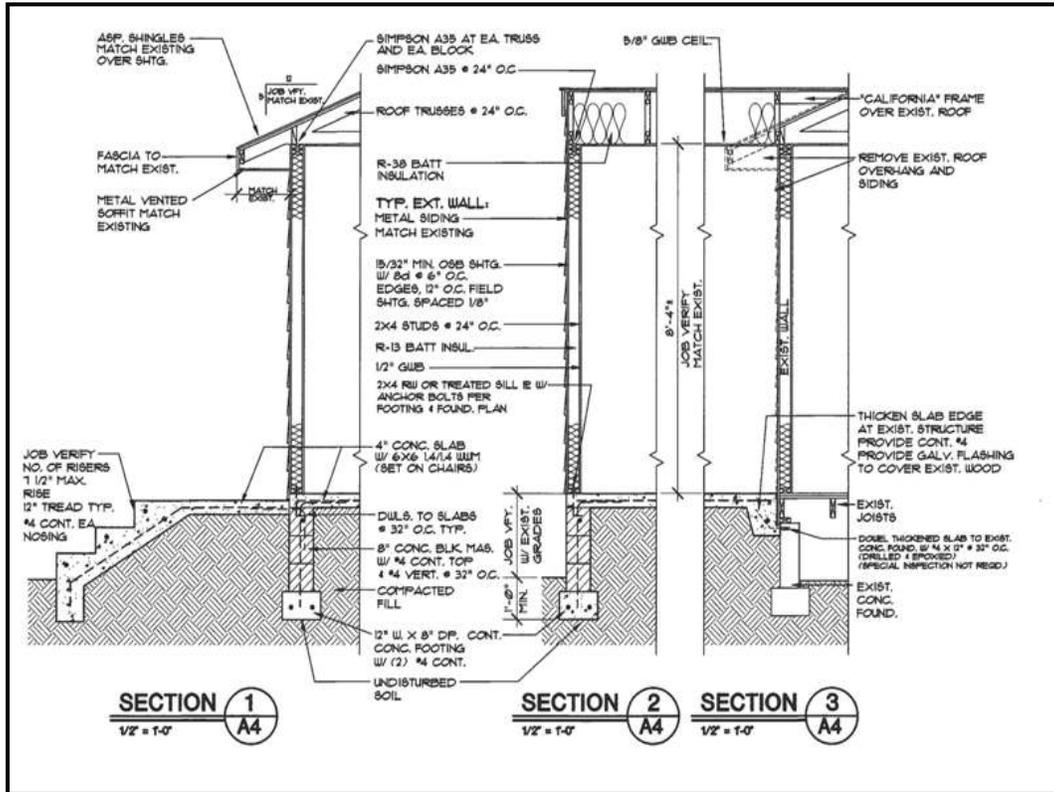
The framing and roofing plans shall contain the following items:

1. Indicate all structural components
2. Indicate sizes of structural components
3. Indicate the methods of attachment of all structural components
4. Indicate all materials used in floors and roofs

Pre-manufactured truss rafters may be a deferred submittal. The design by the truss manufacturer shall be approved by the project design professional prior to submittal to the City.

ROOM ADDITION

BUILDING AND WALL SECTIONS

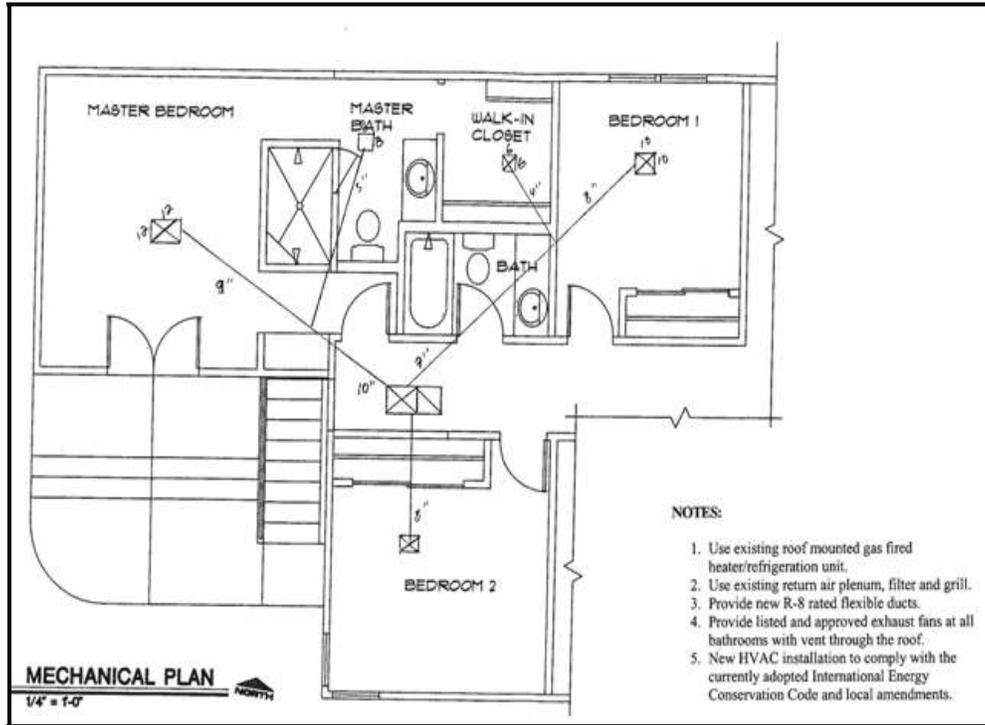


The framing details and wall sections shall contain the following items:

1. Indicate all structural components
2. Indicate sizes of structural components
3. Indicate the methods of attachment of all structural components
4. Indicate all materials used in floors, walls and roofs

ROOM ADDITION

MECHANICAL SYSTEM

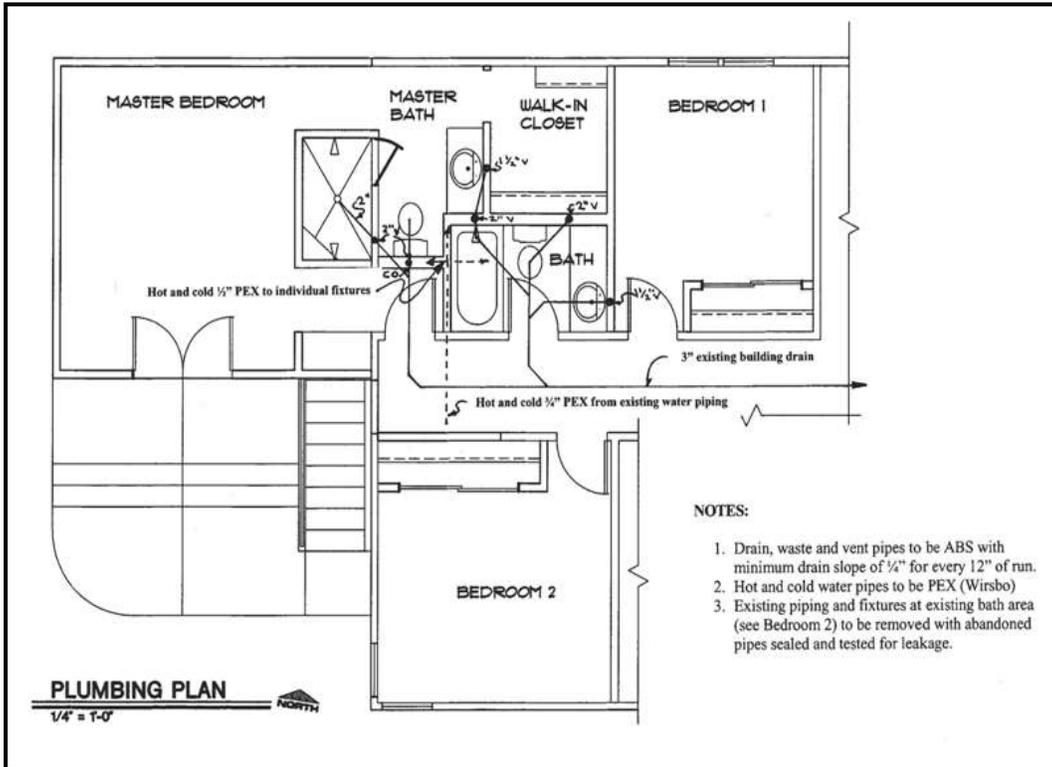


The mechanical plan shall contain the following items:

1. All ductwork and sizes of ductwork and diffusers
2. Schedule of all equipment
3. Indicate fire or smoke dampers if required
4. Provide reference to current energy conservation code

ROOM ADDITION

PLUMBING SYSTEM

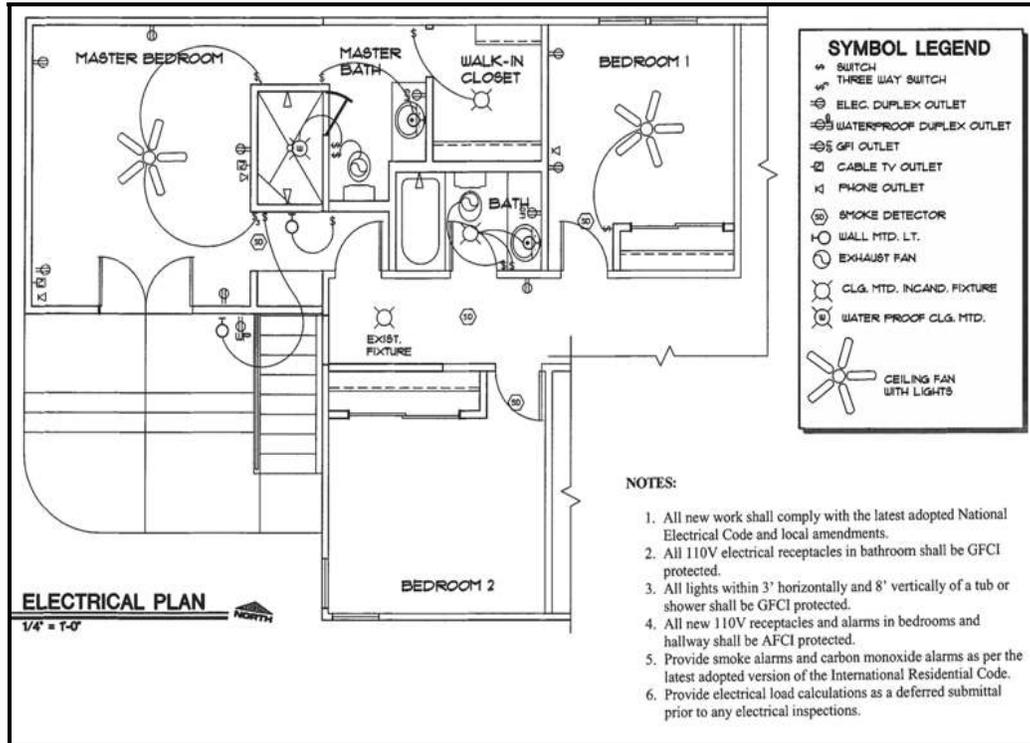


The plumbing plan shall contain the following items:

1. Indicate point of connection to sewer and water
2. Indicate all fixtures
3. Indicate all piping, piping sizes and piping materials

ROOM ADDITION

ELECTRICAL SYSTEM



The electrical plan shall contain the following items:

1. Indicate point of connection to the source of supply
2. Indicate all light fixtures
3. Indicate all switches
4. Indicate all outlets and receptacles
5. Indicate wiring sizes
6. Indicate grounding electrode system, if required
7. Indicate all smoke alarms and carbon monoxide alarms
8. Indicate all AFCI protected outlets
9. Indicate all GFCI protected outlets
10. Provide load calculations on approved form

ROOM ADDITION

STRUCTURAL CALCULATIONS



One of the following methods shall be used:

1. Prescriptive use of the current International Residential Code, OR
2. Engineering calculations and details sealed by a registered Nevada designer

ENERGY COMPLIANCE



The applicant must provide evidence of compliance to the currently adopted International Energy Conservation Code by a program approved by the Building Official such as *RES-check*™ or a similar program. The documents must indicate a prescriptive approach referencing the proper tables and/or sections of the currently adopted International Energy Conservation Code.

DETACHED ACCESSORY BUILDINGS



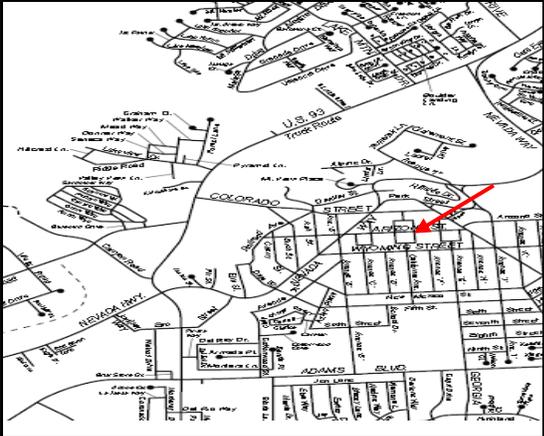
HELPFUL TIPS

The submittal documents should tell the permit technician and the plan reviewer a brief story about what you intend to accomplish. Please keep this in mind when preparing the plans and other documents.

The following sample plans are the minimum required for submittal to the Building and Safety division for plan review.

DETACHED ACCESSORY BUILDINGS

COVER SHEET

ACCESSORY BUILDING	
Smith Residence 401 California Avenue Boulder City, NV 89005	
↑ N	
LOCATION MAP	
	DESIGN CRITERIA CODES: 0000 International Residential Code 0000 Uniform Plumbing Code 0000 Uniform Mechanical Code 0000 National Electrical Code Local Amendments SQUARE FOOTAGE: 60 BUILDING HEIGHT: n/a OCCUPANCY: SFR CONSTRUCTION TYPE: V-B SEISMIC DESIGN CATEGORY: D WIND LOAD: 90 MPH Plans prepared by owner-builder <i>John Smith</i> Phone: 293-XXXX

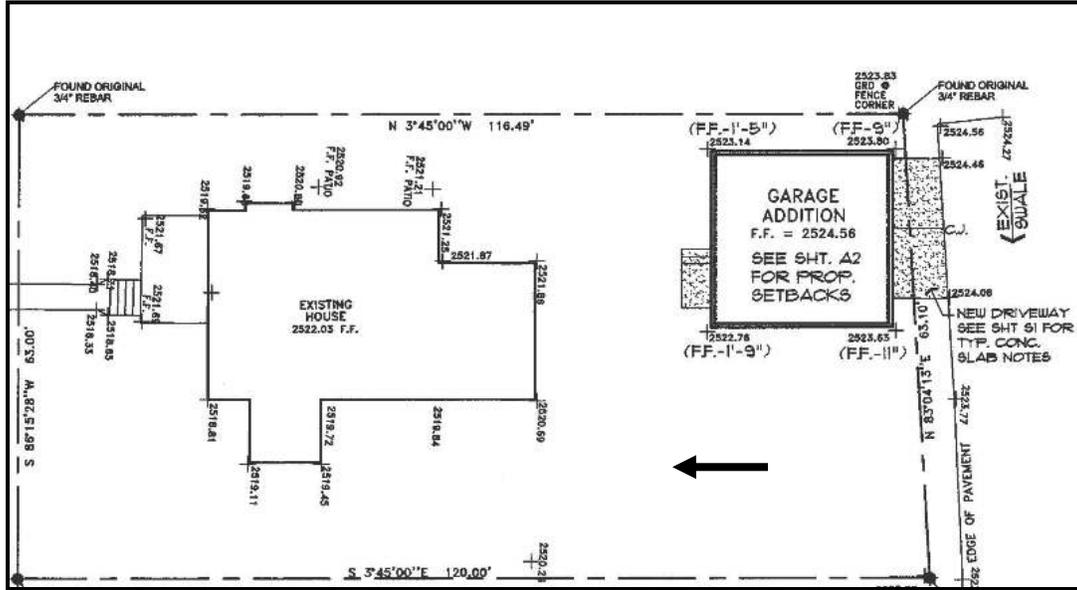
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The cover sheet shall contain the following items:

1. Project identification, address and location map
2. Occupancy group
3. Type of construction
4. Seismic design category
5. Wind loads
6. Code editions used
7. Height and number of stories
8. Square footage
9. North arrow

DETACHED ACCESSORY BUILDINGS

SITE PLAN

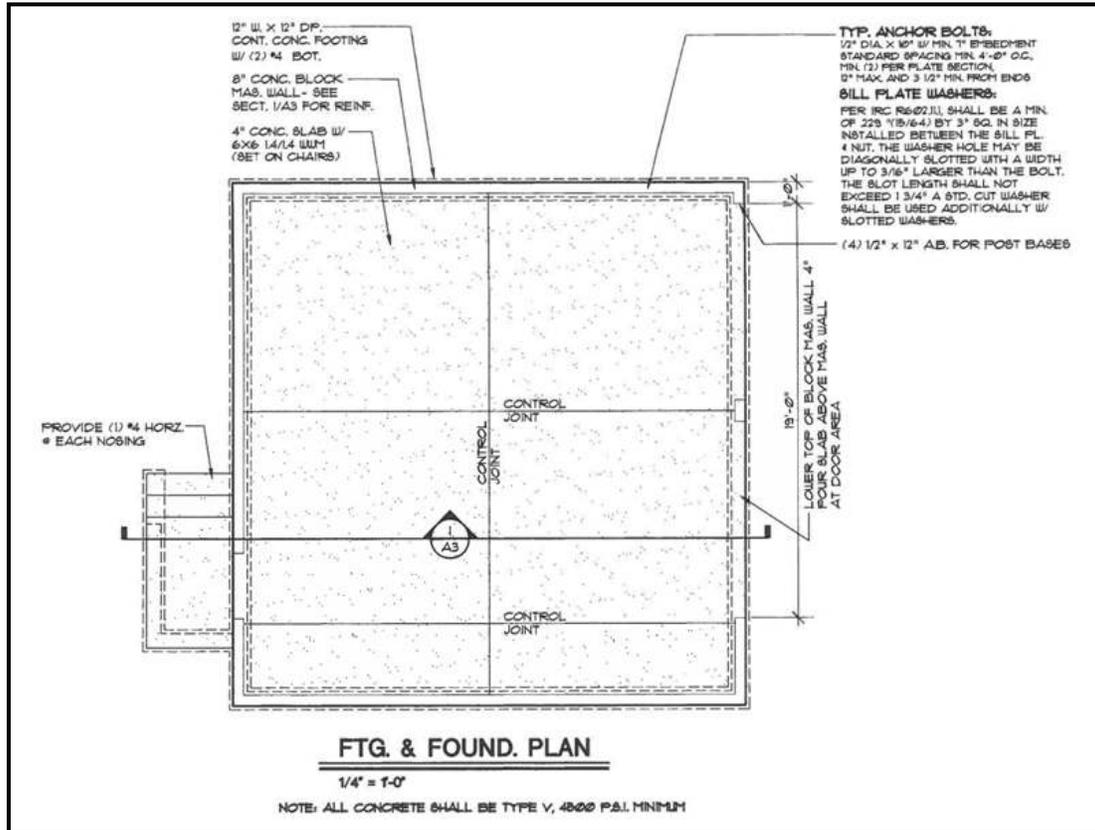


The site plan shall contain the following items:

1. Indicate proposed, new and existing structures
2. Indicate all property lines with dimensions
3. Indicate all streets and easements
4. Indicate all setback dimensions
5. Indicate all utilities on the site and the points of connection
6. Indicate provisions for vehicle parking
7. Indicate drainage information
8. North arrow

DETACHED ACCESSORY BUILDINGS

FOUNDATION PLAN

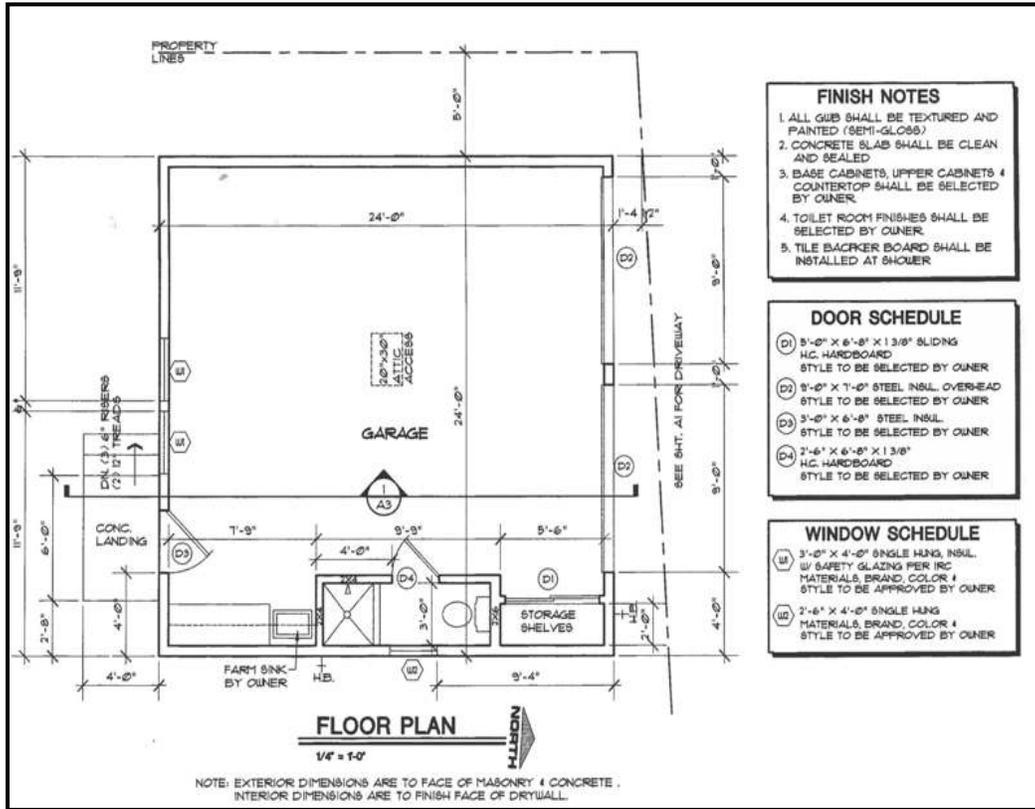


The foundation plan shall contain the following items:

1. Indicate all foundations and footings
2. Indicate all dimensions and thicknesses
3. Indicate all materials, strengths and reinforcing
4. Indicate all imbedded items such as anchor bolts and hold downs
5. Reference the soils report if applicable

DETACHED ACCESSORY BUILDING

FLOOR PLAN

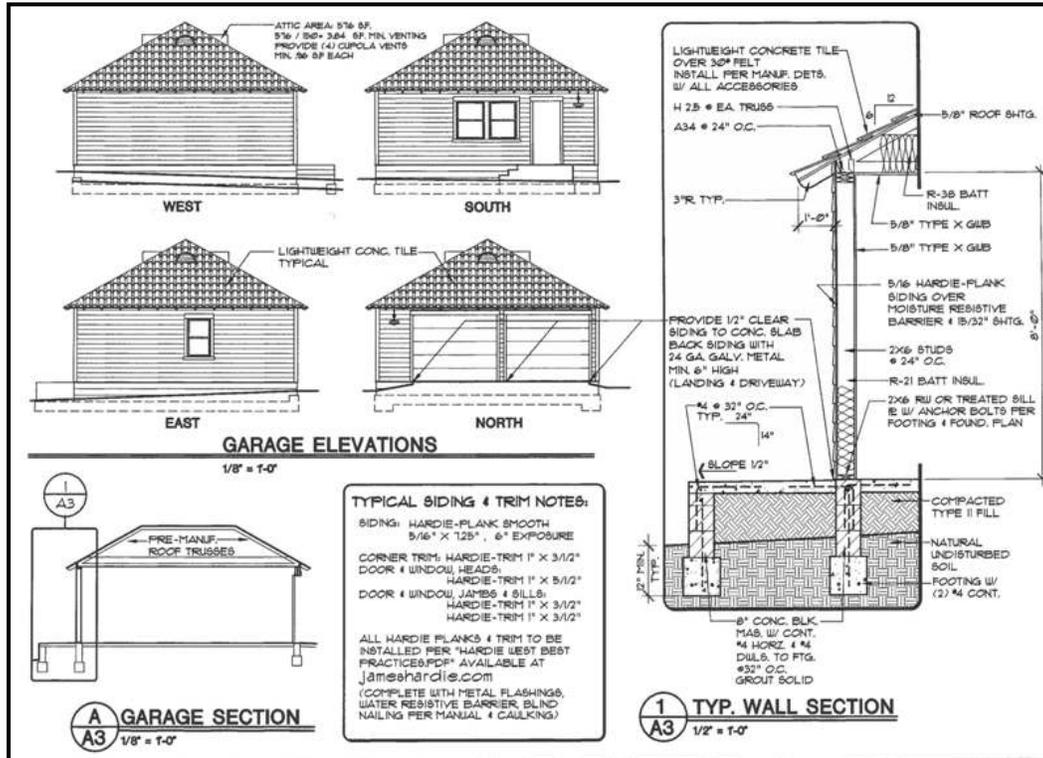


The floor plan shall contain the following items:

1. Indicate all floors
2. Indicate all rooms and identify their use and dimensions
3. Indicate all doors, windows and other openings
4. Indicate stairs, if applicable
5. Identify any special fire separations
6. Provide window and door schedule

DETACHED ACCESSORY BUILDING

ELEVATIONS AND SECTIONS



The exterior elevations shall contain the following items:

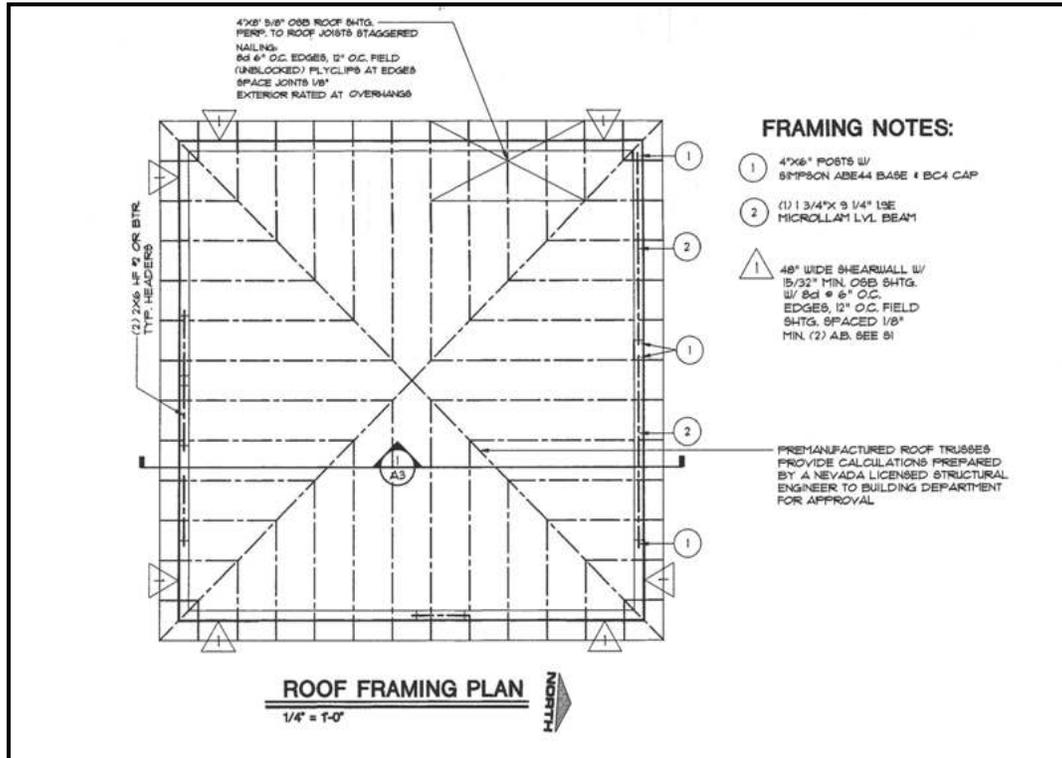
1. Show all views
2. Indicate all openings
3. Indicate all vertical dimensions
4. Identify all finish materials

The framing details and wall sections shall contain the following items:

1. Indicate all structural components
2. Indicate sizes of structural components
3. Indicate the methods of attachment of all structural components
4. Indicate all materials used in floors, walls and roofs

DETACHED ACCESSORY BUILDING

FRAMING AND ROOFING PLANS



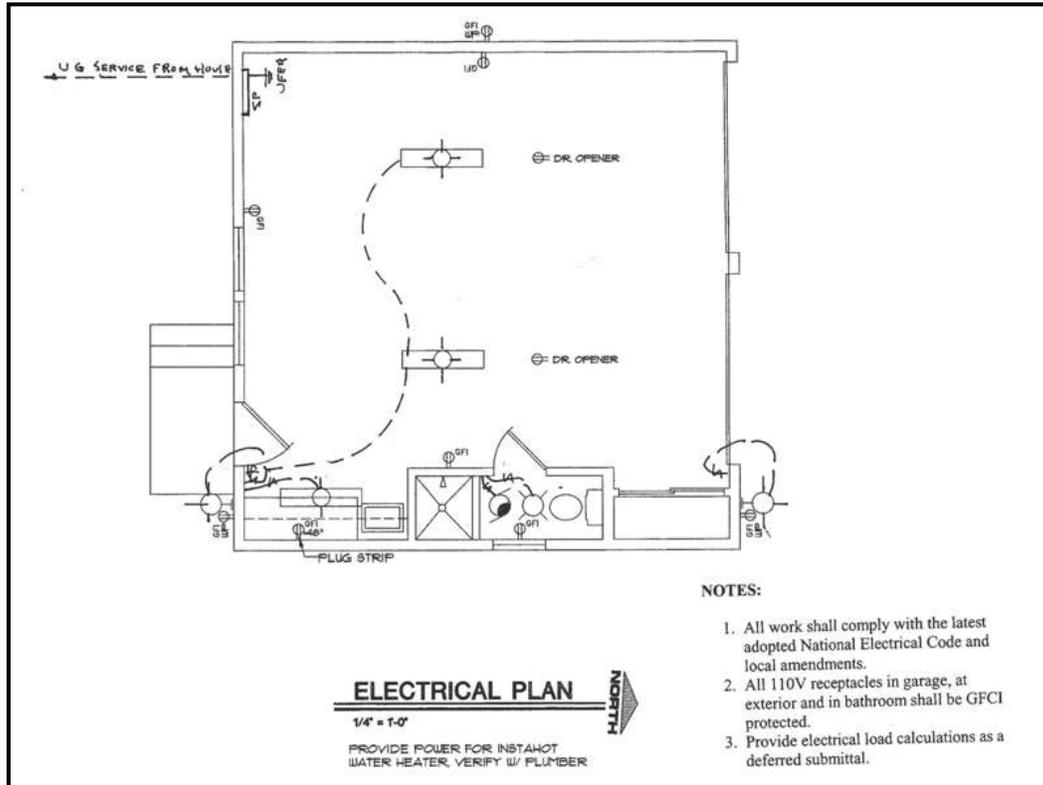
The framing and roofing plans shall contain the following items:

1. Indicate all structural components
2. Indicate sizes of structural components
3. Indicate the methods of attachment of all structural components
4. Indicate all materials used in floors and roofs

Pre-manufactured truss rafters may be a deferred submittal. The design by the truss manufacturer shall be approved by the project design professional prior to submittal to the City.

DETACHED ACCESSORY BUILDING

ELECTRICAL SYSTEM

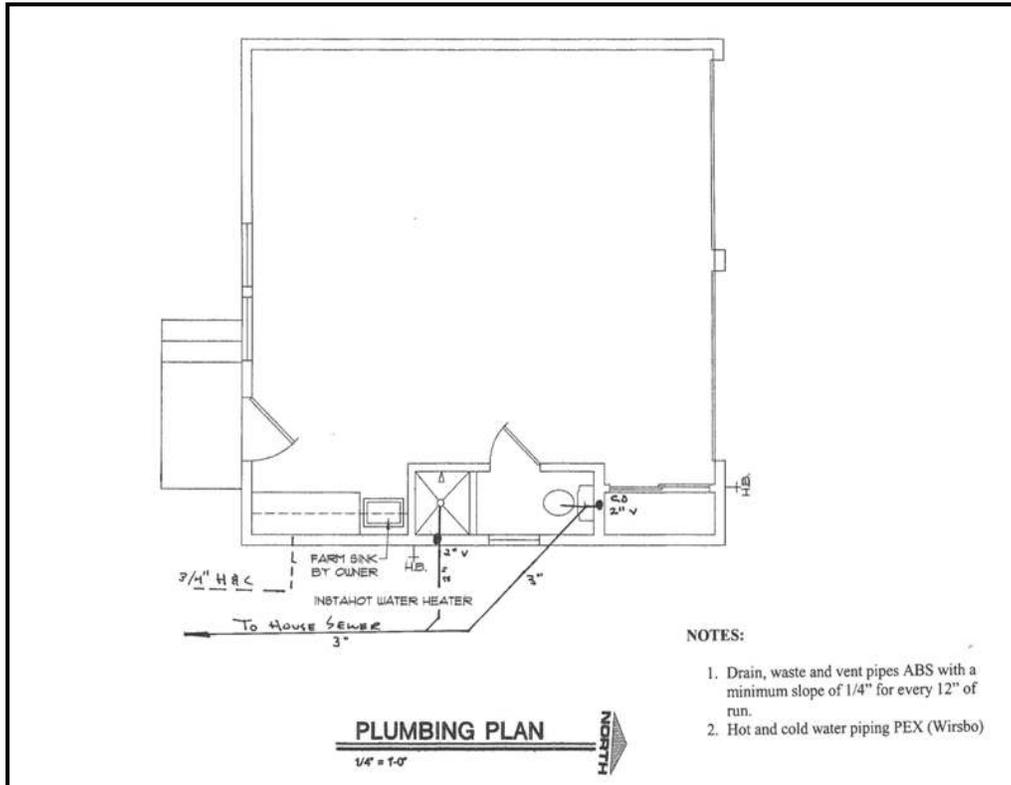


The electrical plan shall contain the following items:

1. Indicate point of connection to the source of supply
2. Indicate all light fixtures
3. Indicate all switches
4. Indicate all outlets and receptacles
5. Indicate wiring sizes
6. Indicate grounding electrode system, if required
7. Indicate all smoke alarms and carbon monoxide alarms
8. Indicate all AFCI protected outlets
9. Indicate all GFCI protected outlets
10. Provide load calculations on approved form

DETACHED ACCESSORY BUILDING

PLUMBING SYSTEM



The plumbing plan shall contain the following items:

1. Indicate point of connection to sewer and water
2. Indicate all fixtures
3. Indicate all piping, piping sizes and piping materials

DETACHED ACCESSORY BUILDING

STRUCTURAL CALCULATIONS



One of the following methods shall be used:

1. Prescriptive use of the current International Residential Code, OR
2. Engineering calculations and details sealed by a registered Nevada designer

ENERGY COMPLIANCE

(Not required when the interior space is not conditioned)



The applicant must provide evidence of compliance to the currently adopted International Energy Conservation Code by a program approved by the Building Official such as *RES-check*™ or a similar program. The documents must indicate a prescriptive approach referencing the proper tables and/or sections of the currently adopted International Energy Conservation Code.

ZONING REQUIREMENTS

HELPFUL TIPS

For any addition or accessory building, it is recommended that you prepare a draft plot plan showing your entire lot, and the existing and proposed structures (with setbacks), and bring this to the City Planner for preliminary review. This way we can let you know if there are any zoning problems prior to you preparing any structural drawings. Also, please contact the City Planner at 702-293-9282 if you have any questions about these zoning requirements, or if you need to know what zone your property is in.

Note: Setbacks are measured to property lines. For property lines along a street, this **may** be at the back of sidewalk. However, in most of the older neighborhoods, the property line is a distance back from the sidewalk. You may contact either the Public Works Department at 702-293-9200 or the Community Development Department at 702-293-9282 to confirm where your property lines are relative to the street.

Historic District: If your property is located in the Historic District, there **may** be additional exterior design guidelines that have been adopted for your house. You can check with the Building and Safety Division, the Planning Division, or online (www.bcnv.org; see Community Development Department page, Historic Preservation Documents) to see if guidelines for your property have been adopted. Compliance with any adopted guidelines is voluntary, but if you choose to do a remodel or addition that is visible to the street and which would not be in conformance with the adopted guidelines, there is a possibility that your permit **might** be delayed in order for the Historic Preservation Committee to provide input. Once input is provided, the homeowner can still build what is allowed by code, as the guidelines are not mandatory. There may also **not** be a delay, depending on how the guidelines for your area were adopted, or if no building permit is required for what you want to do. (For example, no permit is required to change your yard from grass to desert landscaping.) There will be no delays for permits where the remodel conforms to the guidelines or if the change will not be visible to a street. The guidelines list many historic features that originally pertained to your area and are meant for educational purposes, to guide homeowners in their remodel process. For any questions about the guidelines, please contact the City Planner.

ZONING REQUIREMENTS

Minimum Space Requirements

Section 11-3-5: This section pertains to area requirements (setbacks, etc.) for the principal building (house) and any enclosed ADDITIONS to the principal building in the R1 zones. (For mobile home zone requirements, please contact the Planning Division at 702-293-9282.)

11-3-5 MINIMUM SPACE REQUIREMENTS

A. Lot Area, Width, Dwelling Unit Size and Lot Coverage:

<u>District</u>	<u>Lot Area</u> <u>Sq Ft</u>	<u>Width</u> <u>Interior</u> <u>Lot</u>	<u>Width</u> <u>Corner</u> <u>Lot</u>	<u>Maximum</u> <u>Dwelling</u> <u>Unit Size*</u>	<u>Lot</u> <u>Coverage</u>
R1-7	7,000	70 ft	75 ft	1,000 sq ft	40%
R1-8	8,000	80 ft	85 ft	1,200 sq ft	40%
R1-10	10,000	80 ft	85 ft	1,500 sq ft	40%
R1-15	15,000	100 ft	105 ft	1,500 sq ft	35%
R1-20	20,000	100 ft	105 ft	1,500 sq ft	30%
R1-40	40,000	120 ft	125 ft	1,500 sq ft	25%
R1-80	80,000	150 ft	155 ft	1,500 sq ft	20%

*Exclusive of garages, porches, eaves or similar features. (Ord. 841, 2-23-1988, eff. 2-23-1988; amd. Ord. 905, 5-12-1992, eff. 6-3-1992; amd. Ord. 973, 11-14-1995, eff. 12-6-1995)

B. Lot Depth: None shall be less than the lot width.

C. Front Yard: Twenty feet (20')

D. Side Yard (also see exception, 11-3-5.l):

1. Interior Lot: There shall be two (2) side yards totaling twenty feet (20') with a six foot (6') minimum on one side.
2. Corner Lot:
 - a. Side yard abutting the street: Twenty feet (20').
 - b. Interior side yard: Six feet (6') (Ord. 841, 2-23-1988, eff. 3-23-1988).

- E. Rear Yard: Twenty feet (20'). Also see exception, 11-3-5.I. (amd. Ord. 973, 11-14-1995, eff. 12-6-1995)
- F. Structure Height: The height of a structure shall not exceed twenty-five feet (25').
- G. Number of Stories: The number of stories in a building shall not exceed two (2) stories. (Ord. 841, 2-23-1988, eff. 3-23-1988)
- H. Additional setback information relating to accessory buildings, uncovered porches, attached patio covers, carports, etc.: Subject to the provisions as set forth in Chapter 20 of this Title.
- I. Exceptions: On any residential lot recorded prior to the effective date of Ordinance 841 (March 23, 1988), the minimum side (and rear) yard setbacks are reduced to the following:
 - 1. Side Yards:
 - a. Interior Lot: There shall be two (2) side yards totaling twenty feet (20') with a five foot (5') minimum on one side.
 - b. Corner Lot:
 - 1. Side yard abutting the street: Twenty feet (20').
 - 2. Interior side yard: Five feet (5').
 - 2. Rear Yard: Fifteen feet (15'). For the rear yard only, there shall be a six foot (6') high solid masonry block wall (or similar sight obscuring fence) at the rear property line, excluding vehicular or pedestrian gates. (Ord. 912, 1-26-1993, eff. 2-17-1993, amd. Ord. 973, 11-14-1995, eff. 12-6-1995)

ZONING REQUIREMENTS

Exceptions for Substandard Lots of Record

Section 11-21-2: This section outlines the exceptions to Section 11-3-5 for lots in the R1 zones which are substandard in size, width or depth. (For mobile home zone requirements, please contact the Planning Division at 702-293-9282)

11-21-2 EXCEPTIONS (FOR SUBSTANDARD LOTS OF RECORD)

When a lot has an area, width or depth less than that required by this Title, and when said lot was held under separate ownership or was of record at the time this Title became effective, such lot may be occupied by any use permitted in the zone, subject to the following regulations:

- A. "R1" Single-Family Residential and "R2" Two-Family Residential Zones: All the regulations of the zone in which the lot is located shall apply to all substandard lots of record, except as follows:
1. Minimum Yard Requirements:
 - a. Front Yard: Twenty percent (20%) of lot depth, but need not exceed twenty feet (20').
 - b. Rear Yard: Twenty percent (20%) of lot depth, but need not exceed fifteen feet (15').
 - c. Side Yard: Ten percent (10%) of lot width in each side yard, but shall not be less than three feet (3') and need not exceed five feet (5').
 - d. Street Side Yard: Twenty percent (20%) of lot depth, but need not exceed twenty feet (20').
 3. Lot Coverage: The maximum lot coverage shall be forty-five percent (45%) of the lot area for all "R1" Zones and fifty-five percent (55%) of the lot area for all "R2" Zones.

ZONING REQUIREMENTS

Location of Accessory Buildings and Structures

Section 11-20-2.B: This section contains the requirements for ACCESSORY BUILDINGS (buildings detached from the principal building). This section applies to the residential zones as well as the mobile home zones.

11-20-2.B LOCATION OF ACCESSORY BUILDINGS AND STRUCTURES

1. Yards:

a. Rear Yards: An accessory building or structure may occupy any portion of a rear yard, except that it may only occupy a maximum of thirty-five percent (35%) of a required rear yard. For the purposes of this subsection, covered porches and platforms, pool covers, gazebos, open sun screens and carports are exempt from this requirement. For the purposes of this subsection, rear yards which abut alleys or streets are also exempt from this requirement.

b. Side Yards:

1. An accessory building or structure may occupy any portion of a side yard if all of the following conditions are met:

a. Maximum Height: If the building or structure is located five feet (5') or more from the side lot line, the maximum height of the building or structure shall be sixteen feet (16'); or

If the building or structure is located less than five feet (5') from the side lot line the maximum height of the building or structure shall be eight feet (8'). If there is a solid masonry wall, retaining wall, or sight obscuring fence, adjacent to the side lot line, the maximum height of the building or structure shall be eight feet (8'), or equal to the height of the retaining wall/fence, whichever is greater, but not to exceed sixteen feet (16'); and

b. Access Area: An unobstructed access area of at least five feet (5') in width is maintained along both sides of the property. For the purposes of this subsection, carports that are open on three (3) sides constitute an unobstructed access area.

2. In addition to the above requirements, an accessory building or structure may occupy any portion of a street side yard of a corner lot if the abutting lot to the rear along the street side is not a key lot and there is no vehicle access to the street.

c. Front Yards: An accessory building or structure shall not be located in a front yard. (Ord. 1176, 08-27-2002, eff. 09-18-2002)

2. An accessory building or structure shall be located at least five feet (5') from any property line, except that if fire resistance-rated construction is used as per the building code, an accessory building or structure may abut the property line subject to recorded easements. When the rear lot line abuts an alley, the accessory building or structure may be located on the rear property line. Exception: In the R1-20, R1-40 and R1-80 Zones, accessory buildings and structures over one thousand (1,000) square feet in size shall be located at least ten feet (10') from any property line. (Ord. 1114, 05-23-2000, eff. 06-14-2000; Ord. 1394, 09-22-2009, eff. 10-14-2009)
3. In aggregate, the gross floor area of all accessory buildings and structures shall not exceed the following sums. In certain zones as listed below, greater areas are permitted for a new detached building if it is of similar material and color to the primary dwelling on site, or, if for an addition to an accessory building, it is of similar material and color to the existing accessory building:

<u>Zone</u>	<u>Area (square feet)</u>	<u>Area of building, if similar</u>
R1-7	700	1,000
R1-8	800	1,000
R1-10	1,000	1,250
R1-15	1,000	1,500
R1-20	2,000	Not applicable
R1-40	2,000	Not applicable
R1-80	3,000	Not applicable
R2	800	Not applicable
ME	600	Not applicable
MP	600	Not applicable

Basements of accessory buildings shall not be counted towards the aggregate area if the basement is completely below grade. (Ord. 1197, 08-26-2003, eff. 09-17-2003; Ord. 1394, 09-22-2009, eff. 10-14-2009; Ord. 1451, 08-23-2011, eff. 09-15-2011)

4. The height of any accessory building or structure shall not exceed one story or exceed sixteen feet (16') in height.
5. Detached carports in the C-M, Commercial Manufacturing Zone may be located in a required front yard and are not limited to the square footage requirements of this Section.

6. There shall be maintained between all buildings and structures on site a distance as per the requirements of the latest edition of the Uniform Building Code, as adopted by the City of Boulder City.
7. Garages and carports which open onto the street side yard of a corner lot shall have a minimum setback from the street side property line equivalent to the front yard setback for the zone in which the structure is located.

ZONING REQUIREMENTS

Attached Carports, Covered Patios and Porches

Section 11-20-3.F: This section details the regulations for ATTACHED covered patios and carports in the single-family and mobile home zones. (Patio covers and carports which are detached from the home must comply with the regulations for accessory buildings as per Section 11-20-2.B.)

11-20-3.F ATTACHED CARPORTS, COVERED PATIOS AND PORCHES IN THE "R1", "R2", "ME" AND "MP" ZONES

1. Carports and patio covers encroaching into a required side yard:
 - a. Carports and patio covers which are attached to a main structure may have a side setback of zero feet (0'), provided that the space under the carport or patio cover remains completely open at the front and rear. Gates may be permitted at the front and/or rear of the carport or patio cover, provided they do not exceed six feet (6') in height. Carports and patio covers which are located within five feet (5') of a property line shall utilize fire resistance-rated construction, unless the building code allows for exceptions to this requirement.
 - b. The height of an attached carport or patio cover shall not exceed sixteen feet (16').
 - c. Carports attached to a main structure which open onto the street side yard of a corner lot shall have a minimum setback from the street side property line equivalent to the front yard setback for the zone in which the structure is located.
2. Carports and patio covers encroaching into a required rear yard:
 - a. In the "R1" and "R2" Zones, carports and patio covers which are attached to a main structure may have a rear setback of ten feet (10'), provided that the space under the carport or patio cover remains completely open at the rear and on at least one side. For lots recorded prior to the effective date of Ordinance 841 (March 23, 1988), a rear setback of seven feet six inches (7'6") is permitted.
 - b. In the "ME" and "MP" Zones, carports and patio covers which are attached to a main structure may have a rear setback of five feet (5'), provided that the space under the carport or patio cover remains completely open at the rear and on at least one side. For lots recorded prior to the effective date of Ordinance 841 (March 23, 1988), a rear setback of four feet (4') is permitted.

- c. The height of an attached carport or patio cover shall not exceed sixteen feet (16'). (Ord. 1238, 01-11-2005, eff. 02-02-2005; Ord. 1394, 09-22-2009, eff. 10-14-2009)
3. Patio and porch covers encroaching into a required front yard in the R1 and R2 zones:
- a. Patio and porch covers which are attached to a main structure may have a front setback of fourteen feet (14'), provided that the space under the patio or porch cover remains unenclosed. Any deck or balcony above shall be limited to the encroachment of provisions of Section 11-20-3.D.
 - b. The height of an attached patio or porch cover shall not exceed the height of the roof of the house, or sixteen feet (16'), whichever is less.
 - c. Carports are not permitted to encroach into a required front yard. (Ord. 1370, 11-12-2008, eff. 12-04-2008)

ZONING REQUIREMENTS

Miscellaneous Definitions

MISCELLANEOUS DEFINITIONS (excerpted from Title 11, Chapter 1)

LOT COVERAGE: The percentage of the area of a lot which is occupied by all buildings or other covered structures. Excluding the following:

1. Cornices, eaves, belt courses, sills, buttresses or other similar architectural features; fire escapes; stairways and balconies; uncovered porches and platforms (as set forth in Section 11-20-3.B – 3.E, provided that they do not extend or project into a side, front or rear yard more than permitted in Section 11-20-3.B – 3.E, respectively).
2. Covered porches and platforms, pool covers, gazebos and other similar structures.
3. Open sun screens.
4. Carports. (Ord. 905, 5-12-1992, eff. 6-3-1992)

LOT LINE, FRONT: A boundary of a lot which separates the lot from the street; and **in the case of the corner lot, the front lot line is the shorter of the two (2) lot lines separating the lot from the street.**

YARD, REQUIRED: A minimum open space as specified by the regulations of this Title for front, rear and side yards, as distinguished from any yard area in excess of the minimum required.*

*(*As an example, an accessory building is not allowed anywhere in the front yard, which is the entire area between the house and the front property line.)*